



PLANNING COMMISSION MEETING
City Hall: 3750 Bridge NW
Wednesday, June 17, 2026 at 7:00 PM

AGENDA

1. **CALL TO ORDER/PLEDGE OF ALLEGIANCE**
2. **ROLL CALL**
3. **ADOPT AGENDA**
4. **APPROVE MINUTES**
 - A. Planning Commission Minutes - May 20, 2026
5. **PUBLIC COMMENT**
6. **PUBLIC HEARINGS**
 - A. Turtle Ponds 6th Addition Preliminary Plat
7. **REGULAR BUSINESS ITEMS**
 - A. Top Tier Automotive Site Plan
8. **DISCUSSION BY PLANNING COMMISSIONERS**
9. **ADJOURNMENT**

CITY OF ST. FRANCIS
ST. FRANCIS, MN
PLANNING COMMISSION MINUTES
MAY 20, 2026

1. **Call to Order:** The Planning Commission meeting was called to order at 7:00 pm by Chairman Dustin Pavek.

2. **Roll Call:** Present were Dean Becker, Deborah Humann, Amy Behning, Gail Genin, Dustin Hingos, Marc McMullen, and Dustin Pavek.

Others in attendance: Jodie Steffes, Community Development Director; and Beth Richmond, City Planner.

3. **Adopt Agenda:** Motion by Hingos, second by McMullen to approve the amended agenda. Motion carried 7-0.

4. **Approve Minutes:** Motion by Becker, second by Humann to approve the April 15, 2026 minutes. Motion carried 7-0.

5. **Public Comment:** Staff received written comments before the meeting, which were provided to the Commission and included as part of the official record. Public comment was opened at 7:01 p.m. No one came forward to address the Commission. Public comment was closed at 7:02 p.m.

6. **Public Hearing:**
a. Tower CUP & IUP

City Planner Richmond reviewed the staff report. Before the Commission were two related requests: A Conditional Use Permit (CUP) to allow the construction of a new wireless service tower, and an Interim Use Permit (IUP) to allow a tower exceeding 75 feet in height. The proposed site is located on the southwest corner of Hill and Dale and Variolite Street, a roughly 26 to 27-acre agricultural site. Agricultural use of the site is proposed to continue with the addition of the tower.

Richmond provided background on the site, noting that a CUP and IUP were approved in 2017 for a 109-foot tower at this location. That tower was never constructed, and the approvals were never recorded. Those approvals are now considered null and void, requiring a new application process.

The proposed tower is intended to offload user capacity and provide additional service coverage along Nacre Street, Hill and Dale, and the Norris Lake area, in response to a significant increase in network use in the area and in rural Minnesota generally. The site is guided for agriculture in the 2040 Comprehensive Plan and is zoned A-2. Telecommunication towers and personal wireless service facilities are permitted with standards in the A-2 District.

Proposed site improvements include a 195-foot monopole wireless service tower with space for three service antennas. Verizon is the proposed anchor tenant, with room for two additional future antennas. A 46-by-58-foot fenced lease area and a 12-foot-

wide gravel driveway off Variolite, within an access and utility easement along the south property line, are also proposed.

Richmond reviewed applicable standards under City Code Sections 1067.05 (general tower standards) and 1067.03 (personal wireless service facilities). The nearest existing towers to the proposed site are: Verizon at 3.78 miles, AT&T at 3.13 miles, and T-Mobile at 4.21 miles.

Regarding setbacks, the code requires a minimum setback equal to the tower height (195 feet) unless a qualified engineer provides a letter identifying the maximum collapse radius. The applicant provided such a letter, establishing a maximum collapse radius of 100 feet. The tower is proposed 108 feet from the south property line, satisfying that requirement.

Regarding height, an IUP is required for any tower exceeding 75 feet. Code requires that tower height be the minimum necessary for satisfactory function. The applicant provided a height analysis comparing the proposed 195-foot tower to a 75-foot alternative. The analysis found that a 75-foot tower would not adequately resolve existing capacity issues and would only accommodate two total antennas, versus three on the taller tower. Richmond noted that co-location, placing multiple antennas on a single tower, is required by City Code to minimize the total number of towers needed.

Regarding design, the tower is proposed to be a gray galvanized material, will not be lit as it falls below the 200-foot FAA lighting threshold, and will have no advertising on the tower or surrounding fencing.

Regarding parking, the tower is designed to operate autonomously with approximately monthly maintenance visits from spring through fall. Staff requested that the applicant identify the parking area on the plans and provide additional detail on surfacing and design. Richmond noted that the IUP process allows the City to modify standard paving and curb-and-gutter requirements to fit the nature of the site.

Regarding fencing, non-agricultural fences in the A-2 District are limited to six feet. Code allows tower security fencing up to eight feet at the City's discretion. The proposed fence is a six-foot chain-link fence with one additional foot of barbed wire, totaling seven feet. Richmond noted this is a matter for the Commission to weigh in on as part of its recommendation.

Regarding landscaping, the applicant proposed spruce trees along the north and east sides of the lease area. Staff recommended that additional landscaping be added along the south side due to the tower's proximity to a residential property to the south.

Richmond noted two additional conditions presented at the meeting: (1) repeal and replacement of Resolution 2017-47 (the 2017 approval); and (2) a modification to the driveway design to prevent gravel from migrating onto Variolite Street, as requested by the City Engineer.

The Commission asked questions of staff regarding the proximity of nearby residences, the physical width of the tower, and whether other sites had been considered.

Public Hearing was opened at 7:17 p.m.

The following members of the public came forward to address the Commission:

Jade Warren, 23114 Variolite Street, expressed opposition to the tower. Warren questioned whether documented gaps in emergency service coverage exist in the area and whether surrounding residents have expressed a desire for improved service. Warren suggested the applicant's height analysis presented a false choice between 75 feet and 195 feet and asked whether a middle-ground height might be considered. Warren stated the tower is out of character with the rural nature of the neighborhood and expressed concern about the potential for decreased property values and future expansion of similar structures.

Wayne Spencer, 23450 Variolite Street, expressed concern about the tower's proximity to his property and questioned why an alternative site, such as the property across the road, was not considered.

Connie Knockrainer, 23309 Variolite Street NW, raised questions about potential wildlife impacts, visual impact, noise limitations, lighting requirements, future expansion notification, abandonment and removal responsibility, and potential health effects from radio emissions. Knockrainer also submitted a formal written request to the Commission regarding the tower proposal. The document was received by staff and entered into the record.

Christine Negus, 22570 Variolite Street, spoke in opposition, expressing concern about continuous radio frequency emissions and potential impacts to wildlife, pollinators, and the rural character of the area.

Allison Shannon, 23430 Variolite Street, expressed opposition, citing potential decreases in property values, visual impact, availability of alternative sites, and concern for wildlife. Shannon noted that she had personally used emergency services in the area in January without any difficulty.

Kirk Dukatz, 23645 Variolite Street NW, expressed opposition, stating that the tower does not fit the rural aesthetic of the area and noting that the rural character of the neighborhood was a key factor in the decision to build there.

Public Hearing was closed at 7:29 p.m.

Following the public hearing, the Commission discussed the application. The Commission asked whether other sites had been considered. The applicant's representative, Truman of Vertical Bridge, addressed the Commission and explained that site selection is guided by Verizon's RF engineering parameters, buildability requirements, including FAA, environmental, and wetland factors, and landowner willingness to lease. Truman stated the proposed site satisfied all three criteria.

The Commission asked about potential impacts to wildlife and radio emissions. Truman stated that the project is subject to extensive FCC regulatory and environmental review, including consideration of migratory bird paths, nesting times, and endangered species, and that Verizon is required to remain in compliance with all

federal regulations at all times. Richmond noted that the City cannot use radio emission findings as a basis for denial if the tower meets FCC standards.

The Commission confirmed that the proposed 195-foot structure falls below the 200-foot FAA lighting threshold, and that the overall structure height, including any poles, was accounted for in that determination. Richmond confirmed the tower is a freestanding monopole structure with no guy wires.

The Commission discussed tower abandonment, confirming that City Code requires removal of an abandoned or obsolete tower within 12 months. The question of whether an escrow is required to ensure removal costs are covered was raised. Staff indicated they would look into the matter and address it as part of any applicable agreements.

The Commission discussed the overall justification for the tower, noting the growing demand for mobile data, the limited range of 5G-capable towers, existing capacity strain on nearby towers, and the benefit of co-location in reducing the total number of towers needed. The Commission indicated the application met the standards to move forward with a recommendation to the City Council.

Motion by Hingos, second by McMullen to recommend approval of the CUP and IUP for the development of a new wireless tower exceeding 75 feet in height, with conditions and findings of fact as presented by staff. Motion carried 7-0.

7. Regular Business Items

None.

8. Planning Commission Discussion

None.

9. Adjournment:

Motion by Humann, second by Becker to adjourn the meeting. Motion carried 7-0.

Meeting was adjourned at 7:40 p.m.



PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission
FROM: Beth Richmond, Planner
SUBJECT: Turtle Ponds 6th Addition Preliminary Plat
DATE: 06-10-2026 for 06-17-2026 meeting
APPLICANT: Home Improvement Shop Inc. (Bill Carroll)
LOCATION: 2761 229th Ave NW
COMP PLAN: Medium Density Residential (MDR)
ZONING: Turtle Run PUD

OVERVIEW

The City has received applications for a preliminary plat and final plat for the Turtle Ponds 6th Addition development. This development includes two attached townhome buildings with four units apiece for a total of 8 residential lots on the 2.5-acre site.

A concept plan for this site was reviewed by the Planning Commission and City Council in March and April 2026. During the concept plan review process, the Planning Commission and City Council provided the following feedback:

- Applicant should provide plans for snow removal and guest parking on the site
- Portions of the wetland on-site are planned to be filled. Wetland buffer and setback requirements must be met.

The requests to be considered include a preliminary plat and final plat. The final plat application will be reviewed by the City Council concurrently with the preliminary plat. It is attached for informational purposes to this packet.

REVIEW PROCEDURE

120-Day Subdivision Review Process

Pursuant to Minnesota State Statutes Section 462.358, local government agencies are required to approve or deny subdivision requests, such as the preliminary plat, within 120 days. The 120-day timeline for the review of the preliminary plat expires on August 28, 2026.

Public Hearing

City Code requires that a public hearing for review of the preliminary plat request be held by the Planning Commission. The public hearing notice was published in the Anoka County Union Herald and posted on the City Hall bulletin board. The public hearing notice was mailed to all affected property owners located within 350 feet of the subject property.

ANALYSIS

Land Use

The site is guided for Medium Density Residential use by the Comprehensive Plan which requires a density of 3-7 units per net acre. The applicant is proposing 8 residential lots on 1.65 net acres, which is consistent with the Medium Density Residential density requirement.

The site is zoned Turtle Run PUD. Attached townhome dwellings are permitted uses in the Turtle Run PUD with the following standards:

- A. There shall be no more than six (6) units per structure in a row or eight (8) units per structure if back-to-back.
- B. Individual units shall be at least 24 feet wide.
- C. No garage shall extend the full width of any individual unit. The front façade of a townhouse or rowhouse unit shall include a window and/or door.

Preliminary Plat

The applicant is proposing 8 residential lots on the property, all served by an extension of 229th Lane NW. An outlet is also proposed to include the common elements of the site, including the driveway and guest parking area, stormwater pond, and wetland. Anoka County has reviewed the application materials and provided comments attached.

Dimensional Standards

The site is zoned Turtle Run Planned Unit Development. The proposed development meets the dimensional requirements for attached townhomes in the Turtle Run PUD. The table below shows the required lot and site dimensions for the Turtle Run PUD alongside the standards proposed for the Turtle Ponds 6th Addition development.

Standard	PUD Requirement	Proposed
Min. lot area	2,000 sq. ft.	2,350 sq. ft.
Min. lot width	24 ft.	25 ft.
Min. front setback	10 ft.	14 ft.
Min. rear setback	0 ft.	0 ft.
Min. building separation	10 ft.	108 ft.
Max. height	3 stories or 35 ft., whichever is less	Applicant to confirm

Access & Parking

The applicant is proposing to extend 229th Lane NW to the west to serve all 8 townhome lots. 229th Lane NW is a private road that is currently owned and maintained by the HOA for the Turtles 4th Addition. This HOA will be expanded to include the 6th Addition at the time of final plat. The roadway has been designed to allow emergency vehicles and other large vehicles to turn around.

Attached townhomes are required to provide 2 parking spaces per unit, plus 0.5 space per unit for guest parking. The applicant is proposing 4 guest parking spaces located between the two housing structures, which meets this requirement.

Landscaping

Today, there are wooded areas in the central portion of the site. The applicant is proposing to remove roughly 0.37 acres of trees to allow room for the development. A landscaping plan has been provided which proposes to plant 8 trees on the site, or 2 trees per lot. As the proposed development includes

multi-unit structures, additional calculations are necessary to determine the required number of caliper inches of trees to be planted and the appropriate mix of deciduous, coniferous, and ornamental trees. Revisions to the site plan are necessary per Code Section 10-73-03.

Wetland

There is an existing wetland running along the west and north portions of the site. The applicant is proposing to fill in XXX sf of the adjacent wetland in order to meet wetland buffer and setback requirements on the site. The applicant has begun the Wetland Conservation Act process to obtain wetland credits, which will need to be fully completed and reviewed by the City before final acceptance will be given.

Utilities

All lots within the development are proposed to be served by City utilities. A wet sedimentation basin is proposed on the southwest side of the development in Outlot A. The City Engineer has reviewed the plans for grading, stormwater, and utilities and has provided a comment letter, attached.

RECOMMENDATION

Action to be Considered:

The Planning Commission is requested to hold the public hearing for the preliminary plat request. Following the public hearing, Commissioners are requested to take action on the request and provide a recommendation to Council. The Planning Commission could take one of the following actions:

- 1. Recommend approval with the conditions and findings of fact as presented by Staff.
- 2. Recommend denial with findings of fact as established by Commissioners.
- 3. Table the request to the next Planning Commission meeting and provide direction to Staff and the applicant as to the additional information needed.

Staff recommends approval of the preliminary plat request with the following conditions of approval and findings of fact.

Suggested Motion:

- 1. Move to recommend approval of the preliminary plat for the Turtle Ponds 6th Addition project with conditions and findings of fact as presented by Staff.

Findings of Fact – Preliminary Plat

- 1. The proposed preliminary plat is consistent with the City’s 2040 Comprehensive Plan and is compatible with present and future land uses of the area.
- 2. Excluding the variances granted, the development is consistent with the City’s Zoning Ordinance with noted conditions.
- 3. The development is designed to preserve existing natural features on the site including the bluff and floodplain.
- 4. City services have adequate capacity to serve the proposed development.

Conditions

- 1. Show and label building setbacks on the preliminary plat document.
- 2. Demonstrate that the proposed building height will not exceed 3 stories or 35 feet, whichever is less.
- 3. The applicant shall address the comments included in Anoka County’s Review Memo dated April 23, 2026.

4. Revise the landscaping plan for multi-unit structures according to City Code Section 10-73-04.
5. The applicant shall address the comments included in the Engineering Review Memo dated May 28, 2026 to the City Engineer's satisfaction.
6. Park dedication shall be satisfied at the time of final plat.
7. Applicant shall be responsible for all fees associated with the subdivision application. All fees and financial obligations shall be received by the City prior to the releasing of the approval documents related to this project for recording.
8. Other conditions identified during the review process by Staff, the Planning Commission, or the City Council.

Attachments:

1. Applicant Submittals
 - o Preliminary Plat
 - o Demolition Plan
 - o Preliminary Plat
 - o Site Plan
 - o Utility Plan
 - o Grading Plan
 - o Wetland Management Plan
 - o Landscape Plan
2. Anoka County review letter dated April 23, 2026
3. City Engineer's Memo dated May 28, 2026

Preliminary Plat of TURTLE PONDS 6TH ADDITION

CITY OF ST. FRANCIS
ANOKA COUNTY, MN

Plat Description:
The South 597.25 feet, as measured along the Easterly and Westerly lines, of the following described tract: That part of the Southeast Quarter of the Southeast Quarter of Section 33, Township 34, Range 24, described as follows: Beginning at the Southeast corner of said section, thence East following the South section line a distance of 198 feet; thence North and parallel to the North and South quarter lines a distance of 1097.25 feet; thence West and parallel with the South line of the Southeast Quarter of the Southeast Quarter to the North and South quarter line a distance of 198 feet; thence South along the North and South quarter line to the point of beginning

SOILS CHART

Map symbol & soil name	Hydrologic group	Water table depth (in)
L1AC: Lino loamy fine sand, 0 to 4 percent slopes	A/D	0
W: loati fine sandy loam	A/D	18

• Data from USDA Web Soil Survey

SCHEDULE OF BUILDABLE AREAS FOR LOTS

Block	Lot	Total Lot Area (S.F.)	Buildable Area (S.F.)
1	1	2,444	2,444
1	2	2,350	2,350
1	3	2,350	2,350
1	4	2,444	2,444
2	1	2,444	2,444
2	2	2,350	2,350
2	3	2,350	2,350
2	4	2,444	2,444
Outlet A		99,050	N/A

*Note: contiguous land area excluding drainage and utility easements, wetlands, floodplain, shoreline or bluff land, septic and drain field, and shared easements.

SOIL BORING LOG

Soil Boring #	Elevation
Soil Boring 1	918.3
Soil Boring 2	917.8
Soil Boring 3	918.1
Soil Boring 4	917.8
Soil Boring 5	917.8
Soil Boring 7	918.3
Soil Boring 8	919.5
Soil Boring 9	919.7
Soil Boring 10	920.1
Soil Boring 11	920.3
Soil Boring 12	919.8
Soil Boring 13	919.1

Survey Notes:

- No search for easements or restrictions was made by the surveyor.
- Subject Property is NOT within a flood plain district as mapped by FEMA, per parcel 2700300056, effective 12/16/15
- Contours were created by using RTK GPS methods.
- Utilities shown per Gopher State One Call Ticket No. 22842749. Not all utilities may have been located.
- Reference 2022 Preliminary Plat by Bogart, Pederson & Associates, Inc., File No. 22-1040.00.
- A wetland delineation was performed by KJohaug Environmental Services Company, Inc. Mitigation is requested in the areas as shown.
- Soil Borings were performed by Johnson Engineering Group, Proj. No. 0093-01

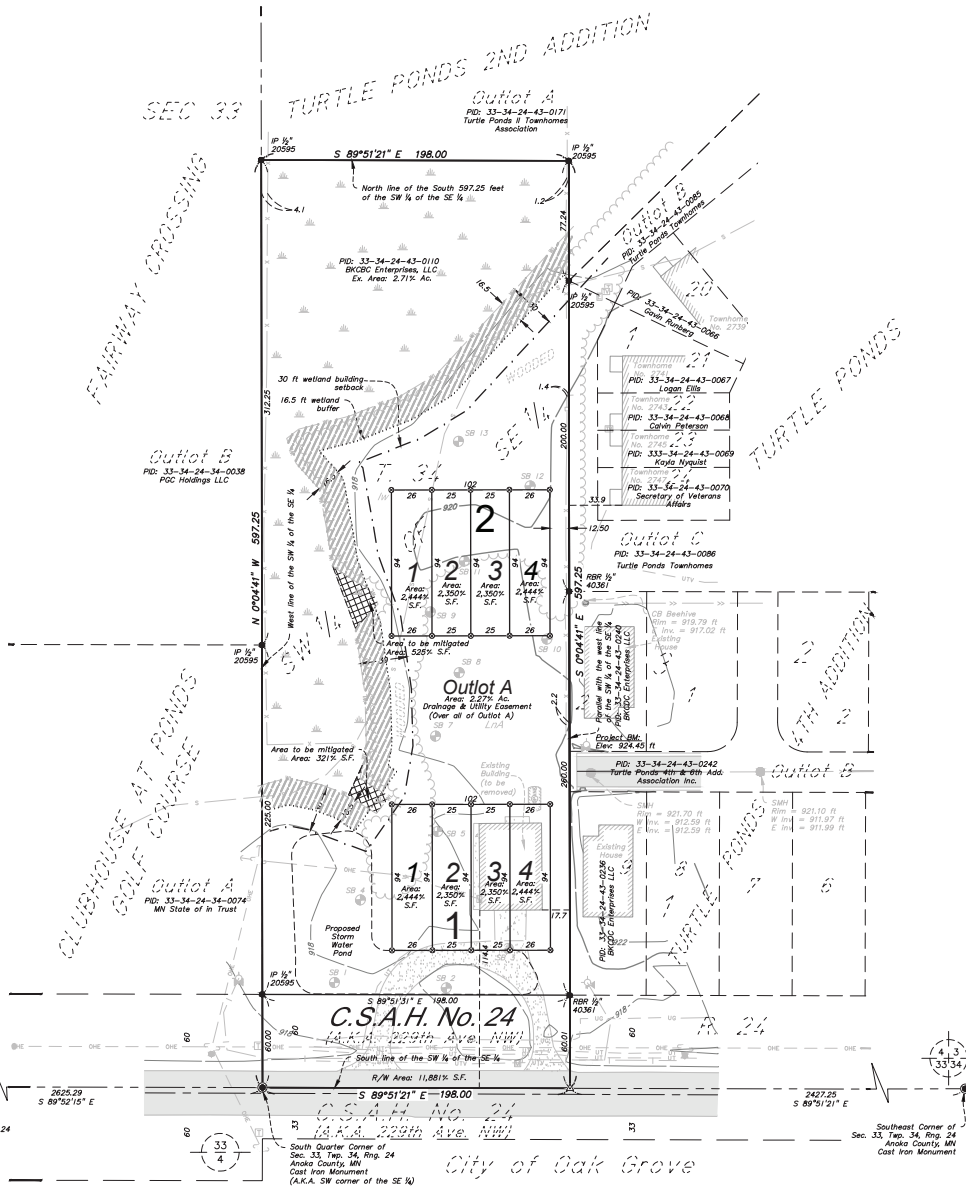
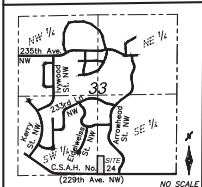
I hereby certify that a boundary survey has been completed for the preliminary plat of TURTLE PONDS 6TH ADDITION, Anoka County, Minnesota.

Signed: *Craig Wensmann*
Date: 4/15/26 Lic. No. 47466

LEGEND:

- Denotes catch basin
- Denotes electrical cabinet
- Denotes mailbox
- Denotes water service
- Denotes sanitary manhole
- Denotes water valve
- Denotes sign
- Denotes power pole
- Denotes guy wire
- Denotes telephone pedestal
- Denotes cable television box
- Denotes hydrant
- Denotes soil boring
- Denotes light pole
- Denotes propane tank
- Denotes delineated wetland interior
- LS 40361 Denotes Thomas Ballul, LS
- LS 20595 Denotes Terrance Rothenbocher, LS
- Denotes bituminous surface
- Denotes concrete surface
- Denotes gravel surface
- Denotes wood fence
- Denotes fence
- Denotes underground television
- Denotes underground telephone
- Denotes overhead electric
- Denotes underground gas line
- Denotes tree line
- Denotes right of way
- Denotes major contour
- Denotes minor contour
- Denotes sanitary sewer
- Denotes storm sewer
- Denotes existing adjoiners
- Denotes delineated wetland edge
- Denotes building setback line
- Denotes soil type boundary

VICINITY MAP
Sec. 33, Twp. 34, Rng. 24
Anoka County, MN



Bearings are based on the Anoka County coordinate system (NAD83 860s). For the purpose of this plat, the South line of the SW 1/4 of the SE 1/4 of Section 33, Township 34, Range 24 is assumed to bear South 89 degrees 51 minutes 21 seconds East

- Denotes found iron monument
- ⊙ Denotes found cast iron monument
- ⊕ Denotes set nail
- ⊙ Denotes 1/2 inch by 14 inch iron monument with a plastic plug stamped R.L.S. 47466 to be set within one year of platting date

REFERENCE BENCHMARK:
MNDOT Geodetic Monument "0006 AB"
Elevation = 915.83 feet (NAVD 88)

PROJECT BENCHMARK:
Top nail hydrant near the Southeast corner of Lot 2, Block 3, TURTLE PONDS 4TH ADDITION
Elevation = 924.45 feet (NAVD 88)

DEVELOPER:
Carroll Holdings, LLC
8021 167th Ave NW,
Romeoville, MN 55003
(763) 389-8999

SURVEYORS & ENGINEERS:
Widseth
1307H First Street
Becker, MN 55308-9322
763-262-9922

TOTAL AREA: 2.71± Acres
TOTAL NET AREA: 1.65± Acres
*Net acreage excludes wetlands, wetland buffers

EXISTING ZONING: PUD

PROPOSED ZONING: Turtle Run PUD

LOT MINIMUMS:
Area: 2,000 S.F.
Lot Width 24'
Minimum building separation 10'

DATE: 4/14/26
FIELD DATE: April 14th, 2026
BK/PG: 2.09/Pg. 51
DRAWN BY: CK
CHECKED BY: CAW
DWG FILE: 2026-10089
FILE NO: 2026-10089

REVISIONS:

No.	Description

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Signed: *Craig Wensmann*
Date: 4/15/26 Lic. No. 47466



PRELIMINARY PLAT
for
Carroll Holdings, LLC
TURTLE PONDS 6TH ADDITION
City of St. Francis
Anoka County, MN

THIS SHEET IS ONLY VALID IF PRINTED IN COLOR

TOPOGRAPHIC INFORMATION - PROPOSED

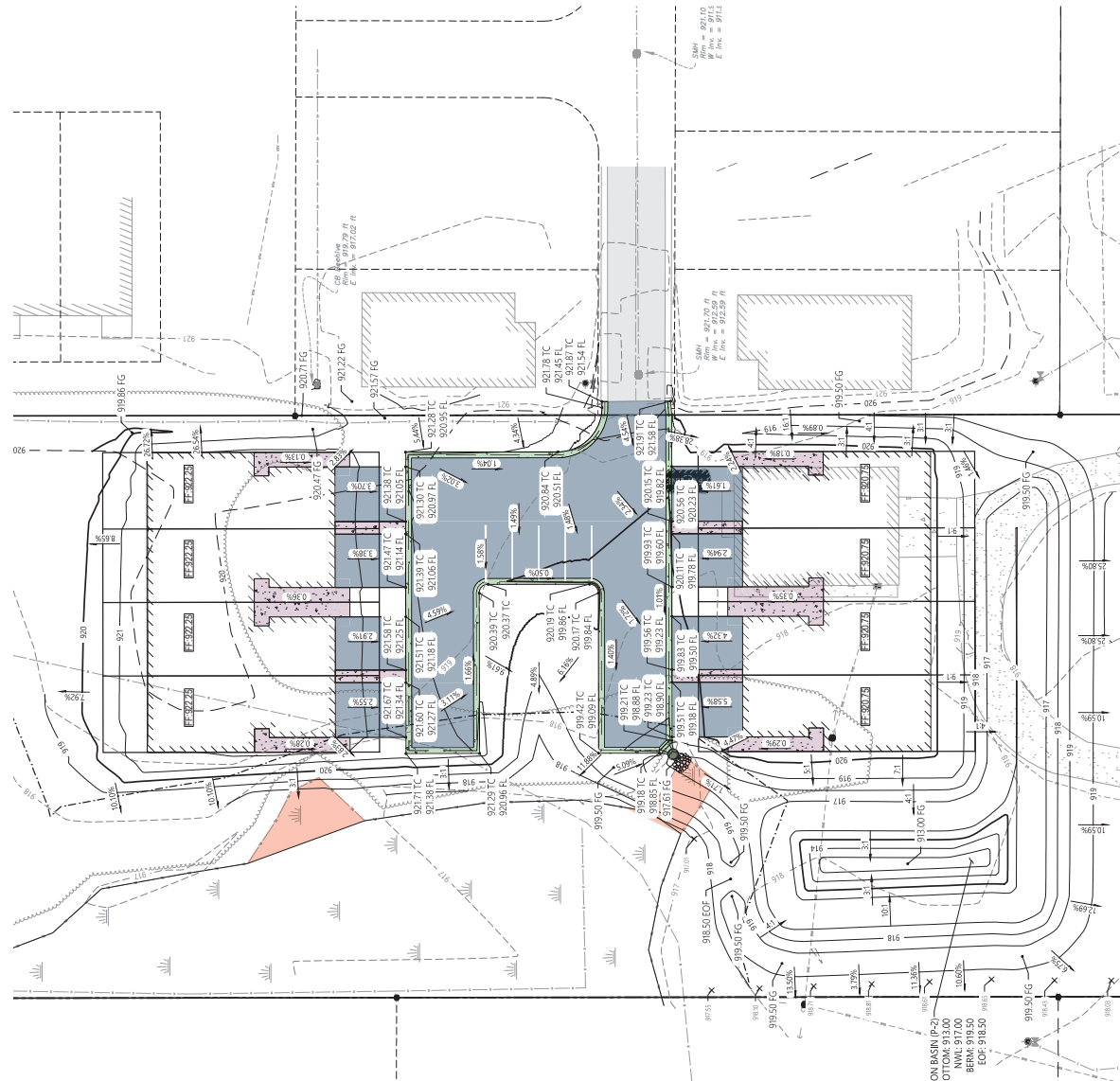
- 1230 MAJOR CONTOURS (WITH LABEL)
- 1234 MINOR CONTOURS (WITH LABEL)
- 1334.56 SPOT ELEVATION
- 4.23% SLOPE - PERCENT
- 1.2 SLOPE - RISE, RUN
- SPOT ELEVATIONS @ CURB
- TBC TOP BACK CURB / FLOW CURB FLOWING
- TOP OF FINISHED GRADE (TOP OF CURB)
- TOP OF FINISHED GRADE (TOP OF CUT DEPTH)

TOPOGRAPHIC INFORMATION - EXISTING

- 1230 MAJOR CONTOURS
- 1234 MINOR CONTOURS
- SPOT ELEVATION

GENERAL GRADING NOTES

- THE SURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY (LEVEL). THE QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHASE 39-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SURFACE UTILITY DATA".
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADE ELEVATIONS, GUTTER FLOW LINE OF CURB GUTTER (FL), BACK OF CURB ELEVATIONS (TCL), TOP OF SIDEWALK (TW), AND FINISHED SURFACE GRADE (FGL, UNLESS OTHERWISE NOTED).
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE DRAWINGS AND THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (IE SILT FENCE, STRAW BALES, ETC.).
- CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS TO EXISTING GRADES PRIOR TO THE PROJECT AND COMMENCING WORK.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (IE SILT FENCE, STRAW BALES, ETC.).
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIALS AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
- CONTRACTOR SHALL MAINTAIN DRAINAGE FROM EXISTING & NEW BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER (INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, ETC.) AS REQUIRED. EXISTING STORM SEWER SHALL NOT BE REMOVED OR ALTERED. ALL STORM SEWER SHALL BE MAINTAINED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE TRADES SITE UTILITY CONTRACTOR, ETC. AS REQUIRED.
- SEE PLAN LEGEND FOR A COMPLETE LIST OF HATCHES AND SYMBOLS USED FOR GRADING.





Anoka County
TRANSPORTATION DIVISION

Highway

Beth Richmond
City of St. Francis
23340 Cree Street NW
St. Francis, MN 55070

April 23, 2026

RE: Preliminary Plat – Turtle Ponds 6th Addition

Dear Beth,

We have reviewed the Preliminary Plat for Turtle Ponds 6th Addition to be located north of CSAH 24 (229th Avenue NW) and west of Arrowhead Street NW within the City of St. Francis, and I offer the following comments:

- The existing right of way along CSAH 24 is 33 feet north of centerline. We request an additional 27 feet of ROW (for a total of 60 ft) along the property line for future reconstruction purposes.
- As proposed, the plat will not introduce any new access points onto CSAH 24 and the right of access should be dedicated to Anoka County along CSAH 24. The existing access points on CSAH 24 shall be removed and the ditch section restored to match existing depth, slope, and grades
- Internal site grading shall not commence until the requested ACHD Engineering plan approvals are received and the applicable permits can be issued. If there will be any utility relocation on CSAH 24, it will be required to be completed by the City/developer as a part of the ACHD Engineering Plan Review process.
- Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, building, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CSAH 24.

ACHD would like to work with local governments in promoting compatibility between land use and the county highway system. It should be recognized that residential land uses located adjacent to County highways often results in complaints about traffic noise. Existing and/or future traffic noise from CSAH 24 could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities are responsible for taking all reasonable measures to prevent land use activities listed in the MPCA's Noise Area Classification (NAC) where establishment of the land use would result in violations of established noise standards. It is advised that the City and the Developer assess the noise situation for this development as it is proposed to be located directly adjacent to CSAH 24 and take the level of action deemed necessary to minimize the impact of any highway noise by incorporating the appropriate noise mitigation elements into the design and phasing of this plat as applicable.

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005
Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ www.anokacounty.us/highway

Affirmative Action / Equal Opportunity Employer

The ACHD Engineering Plan Review process will apply to this site. The following items should be submitted to Camila Arenas, Engineer I, Camila.Arenas@anokacountymn.gov (checklist and payment information are available on our website: <https://www.anokacountymn.gov/4072/Development-Review>):

- Construction plans
- Utility relocation plans
- Traffic Control plans
- Grading and erosion control plans
- Drainage calculations – Note that the post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm
- ACHD Design Requirements Checklist
- Engineering plan review fee (estimated at \$150.00)

Following completion of the ACHD Engineering Plan Review process, the contractor(s) who will be completing any work within the county right of way must begin the ACHD Permit process. One Right of Way Permit - Excavation (\$250.00) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3176 or via email at HighwayPermits@co.anoka.mn.us for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr, PE
Traffic Engineer II

xc: CSAH 24/Plats+Developments/2026
Jerry Auge, Assistant County Engineer
David Zieglmeier, County Surveyor
Sean Thiel, Traffic Engineering Manager
Sue Burgmeier, Traffic Technician
Camila Arenas, Engineer I



**ENGINEERING REVIEW
for City of St. Francis
by
Hakanson Anderson**

Submitted to: City of St. Francis

**cc: Jodie Steffes, Community Development Director
Kate Thunstrom, City Administrator
Paul Carpenter, Public Works Director
Beth Richmond, City Planner
Craig Jochum, City Engineer
Shane Nelson, Assistant City Engineer**

Reviewed by: Sam Jochum, Hakanson Anderson

Date: May 28, 2026

Proposed Project: Turtle Ponds 6th Addition

Street Location: 229th Lane NW

Applicant: Meadow Creek Construction

Owners of Record: Home Improvement Shop Inc.

**Jurisdictional Agencies: City of St. Francis, MPCA, Anoka County
(but not limited to)**

**Permits Required: City Approval, NPDES Construction Permit, Sanitary
(but not limited to) Sewer Extension Permit, MDH Water Extension**

INFORMATION AVAILABLE

Preliminary Plat of Turtle Ponds 6th Addition, dated 4/15/2026, prepared by WiDSETH

Final Plat of Turtle Ponds 6th Addition, prepared by WiDSETH

Turtle Ponds 6th Addition Construction Plans, dated 4/15/2026, prepared by WiDSETH

Stormwater Management Report for Turtle Ponds 6th Addition, dated 4/15/2026, prepared by WiDSETH.

PRELIMINARY PLAT

1. Add all required setbacks?

DEMOLITION PLAN

1. Add existing contours at a minimum of two (2) foot intervals.
2. Show and label the size and material of all existing storm sewer, sanitary sewer, and watermain shown on the plan. The existing watermain on 229th Lane is not currently shown.
3. Label the rim elevations and inverts for all structures shown on the plan.
4. Show the pavement and curb removal on the existing 229th Lane for the proposed utility tie ins.

SEWER AND WATER UTILITIES

1. Provide a profile view of the proposed trunk watermain and sanitary sewer.
2. There appears to be several areas throughout the site where the proposed sanitary sewer trunk and services are below 7.5 feet of cover. Review and revise the sanitary sewer system and/or site grading as needed to provide as minimum of 6.5 feet of cover over the sanitary sewer trunk and services. All locations where the 7.5 feet of cover cannot be met call out a minimum of 4 inches (2 layers of 2 inches) of polystyrene insulation. Polystyrene shall be a minimum of 4 feet wide and joints shall be staggered.

3. Provide the inverts of the sanitary sewer services at the property lines of each house pad.
4. Add a note describing that the tracer wire shall be installed in accordance with Minnesota Rural Water Specifications.

GRADING AND EROSION CONTROL

1. Provide a profile view of the proposed outlet structure OCS 2.
2. Show the proposed storm sewer on sheet C7.01.
3. Provide the 100-yr HWL on sheet C7.01.
4. Grading is being performed along the eastern property line north of 229th Lane. The Applicant shall review and revise this area as no grading shall be allowed on neighboring properties without permission. Grading shall also be revised so that the neighboring properties do not receive any drainage from the proposed site.
5. The Applicant shall add the lot and block numbers to sheet C7.01.
6. The Applicant shall provide the proposed house type for each lot as well as the garage floor elevation and the lowest opening elevation.
7. The maximum allow slope is 1V:4H.
8. It appears tip-out curb and gutter will be needed on the site to avoid ponding water. Call out the locations of all tip-out curb.
9. Add the hatching for the erosion control blanket to the legend on sheet C8.01.
10. Silt fence shall not be installed on neighboring properties. Review and revise as necessary. See comment 4 in this section for additional information.
11. Verify what seed mix is proposed for the site restoration. Seed mixes on the Erosion Control Plan differ from those called out on the Wetland Management Plan. Seed application rates shall be provided
12. Add all wetland buffers to sheet C7.01.
13. Provide mulch type and application rates.

STORMWATER MANAGEMENT REPORT

1. The Stormwater Management Report shall be certified by a MN professional engineer.
2. Show that the volume, total suspended solids, and total phosphorous do not increase on an average annual basis.
3. Review and revise the basins emergency overflow to meet the City freeboard standard. The pond overflow shall be 1 foot higher than the HWL.
4. The stormwater pond, once constructed, will be a private pond and the landowner will be responsible for long-term operation and maintenance. The operation and maintenance will be further defined in the Development Agreement.

WETLAND MANAGEMENT PLAN

1. Many notes found in the Erosion Control Plan are repeated onto the Wetland Management Plan. The Applicant shall review the notes on the Wetland Management Plan and delete any that are covered by the Erosion Control Plan. The Applicant shall revise the Wetland Management Plan to satisfy the following information that is missing:
 - a. Information on how often inspections will be performed to ensure the protection of the wetland and surrounding buffer.
 - b. Time frames and schedules of the construction in the vicinity of the wetlands.
 - c. Information on how the wetland and buffer will be maintained during and after construction to ensure a successful restoration process.
2. The Wetland Management Plan shows Wetland Impacts that are outside of the restoration hatch area. The Applicant shall review and revise to ensure all disturbances have a plan for permanent vegetation establishment.
3. Clarify if the restoration process in the wetland and buffer areas are the same for the rest of the restoration on the site.
4. Add wetland buffer signage to the plan set. See City Standard Plate 808 for additional information.

SITE PLAN/STREETS

1. City Ordinances state that a 24-foot drive aisle is needed when 90-degree parking stalls are to be used. The Applicant shall revise the parking area as needed to obtain a 24-foot drive aisle adjacent to the 4 parking stalls.
2. City Standard Plates 100 and 107 are both used in the details section. Both have different bituminous pavement sections. Review and clarify the bituminous pavement section for the proposed roadways.
3. One of the General Site Plan Notes calls for B618 Curb and Gutter. However, the site appears to be using D412. Review and revise as needed.

OTHER

1. This site is disturbing over 1 acre of land therefore an NPDES Construction Stormwater Permit is needed for the site. Provide the permit to the City when obtained.
2. The project specifications shall include Sewer / Water Utility – Trace Wire Specifications as published by the Minnesota Rural Water Association.
3. The engineering scales on several sheets are not showing properly. Review and revise where needed.
4. Sign/certify all plans.
5. Provide construction cost estimates.
6. The Applicant shall continue the WCA process as the site is proposing to impact wetlands. Final acceptance will not be given until this process has been fully completed and reviewed by the City.

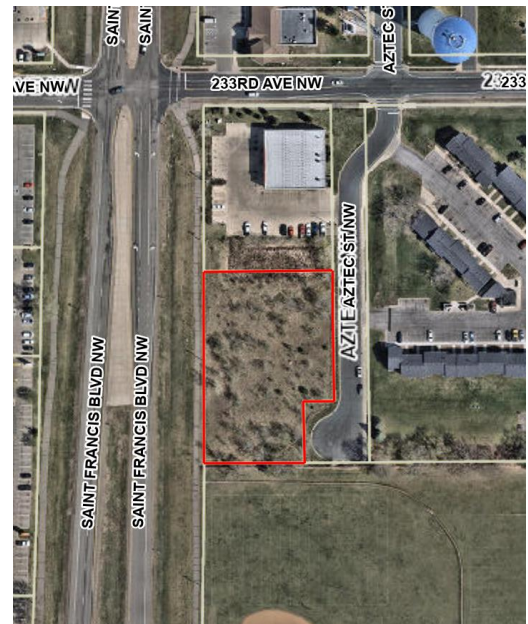


PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission
FROM: Beth Richmond, Planner
SUBJECT: Top Tier Automotive Site Plan
DATE: 6-10-2026 for 6-17-2026 meeting
APPLICANT: Structural Buildings, Inc. (Derek Anderson)
LOCATION: Between Hwy 47 and Aztec St NW (PIN 32-34-24-32-0073)
COMP PLAN: Commercial
ZONING: B-2 General Business

OVERVIEW:

The City has received a development application for the construction of an automotive maintenance and repair facility on the 1.12-acre property between Highway 47 and Aztec St NW (PIN 32-34-24-32-0073). The proposed development would include a single-story 6,800 square-foot building with 8 vehicle bays. The project site is within the City’s urban service area. Site plan review is required for any new construction of commercial principal buildings.



REVIEW PROCEDURE

60-Day Land Use Application Review Process

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. The deadline for the land use request is July 11, 2026.

SITE PLAN REVIEW

Site plan review for development applications is regulated under St. Francis Zoning Code Section 10-32-00.

Land Use

The site is currently undeveloped and zoned B-2 General Business District. It is guided for future commercial use by the 2040 Comprehensive Plan. The applicant is proposing a 6,800 square-foot, single-story, light-duty automotive maintenance and repair building which is consistent with the

comprehensive plan. Minor auto repair and service is permitted in the B-2 District, while major auto repair and service is prohibited.

Automobile repair and service, major: General repair, rebuilding or reconditioning of engines, motor vehicles or trailers; collision services including body, frame, or fender straightening or repair; overall painting or paint shop; vehicle steam cleaning.

Automobile repair and service, minor: Incidental body or fender work, or other minor repairs, painting and upholstering, replacement of parts and motor service to passenger cars and trucks not exceeding 12,000 pounds gross weight, but not including any operation named under "Automobile Repair, Major," or any other similar thereto.

The applicant provided a narrative explaining the services to be provided in detail. These services include scheduled maintenance services such as fluid exchange services and brake component replacement, along with services such as tire replacement and wheel alignment services. Engine rebuilding or reconditioning will not be provided, nor will body, frame, or fender straightening or paint shop services. The proposed use is considered a minor automobile repair and service use.

The site abuts a commercial property to the north (O'Reilly's), school athletic fields to the south, and residential dwellings across Aztec St NW to the east.

Dimensional Requirements

The proposed site plan meets all setbacks, height, and impervious surface requirements for the B-2 district.

Standard	Code Requirement	Proposed
Min. front setback (west)	50' from collector/arterial	57'
Min. side setback (north and south)	North: 10' South: 25' (adjacent to residential district)	North: 80' South: 129'
Min. rear setback (east)	25' rear	29.3'
Max. building height	35 feet	30 feet
Max. impervious surface	80%	51%

Building Type and Construction

Buildings in the B-2 district must meet the following standards:

- a. 100% of the exterior building finish for the front wall shall consist of materials comparable in grade and quality to the following: face brick, natural stone, glass, stucco, specially pre-cast concrete units if the surfaces have been integrally treated with an applied decorative material, textured concrete block or smooth concrete block if scored at least twice.
- b. The balance of the building finish may consist of the following wood, horizontal lap siding (wood, masonite, steel, aluminum or vinyl), or other approved architectural metal siding.
- c. Baked enamel sheet siding shall not be a permitted building material.

The automotive maintenance and repair building is proposed to be constructed primarily of Dakota Steel paneling. Stone is proposed along the bottom of the front portion of the building containing the lobby and storefront.

The City must determine if the proposed Dakota Steel panels are considered “consistent in grade and quality” to the materials listed in a. above and would therefore be allowed on the front wall of the building (facing west to Hwy 47). The materials in a. above are intended to be high-quality materials that are long-lasting and able to withstand wear and tear, typically with a material life expectancy of 40 years or more. The applicant has provided the attached informational powerpoint on Dakota Steel to assist with this determination. Dakota Steel comes with a 45-year limited warranty.

The Dakota Steel siding is consistent with the allowable building materials for the remainder of the building.

For all non-residential buildings, the following architectural standards must be met:

1. *Façade Articulation and Details. Buildings shall be designed so that building material, color, or massing changes at least every 60 linear feet for all street facing sides of the building. Massing changes may be accomplished through use of articulation details such as cornices, molding, columns, pilasters, or other ornamentation as well as vertical recess or projections of the wall face.*
2. *Windows shall be installed at regular intervals along the length of all street-facing building walls.*

The subject site has frontage on both Hwy 47 and Aztec St NW. The west side of the building facing Hwy 47 is proposed as the “front,” and includes the main entrance, windows, and façade articulation. The east side of the building facing Aztec St NW does not currently meet the standards listed above. The applicant must revise the exterior façade on the east side of the building to meet those requirements.

Site Access and Parking

Access to the site will be provided by two, 12-foot-wide driveways, both with access from Aztec St NW. Commercial buildings may have multiple access points with approval of the City Engineer. In order to allow two-way traffic on the site, drive aisles must be 24 feet wide. Additional information is necessary to understand the intended circulation pattern on the site.

City Code requires parking to be provided at a rate of 1 space per 200 SF for minor automotive repair uses. The applicant is proposing a parking area with 34 stalls located north, west, and south of the building, which meets this requirement.

Exterior Lighting

The applicant is proposing the installation of four lighting fixtures to light the parking area, two fixtures above the primary doorway, and additional lighting fixtures above each of the garage bay doors. The proposed lighting meets the setback standards and glare requirements of no more than 1.0 footcandle at the centerline of any adjacent ROW and no more than 0.4 footcandle at adjoining residential property lines. The applicant should provide the light fixture specification sheets to staff so that staff can confirm the proposed fixture height and ensure that the fixture contains a cutoff.

Screening & Landscaping

Screening is required for all new commercial uses along the boundary of any residentially-zoned parcel. The property to the south is zoned R-1, therefore, screening is necessary. Screening must be a minimum of 6’ in height at installation, and may consist of vegetation, a fence, wall, or berm, or some combination of these elements.

Trash enclosures must be screened in accordance with Code Section 10-71-03 Waste, Refuse, Junk, and Recyclable Materials. Additional detail is needed to ensure that the screening height, opacity, and material are consistent with the Code.

The applicant has submitted a landscaping plan which shows 11 trees to be planted around the north and south sides of the parking lot. Revisions to the landscape plan are needed to comply with the standards in Code Section 10-73-04, including:

- Landscaping plans must be prepared by a licensed landscape architect or other similar professional.
- Identify the location, type, and size of all existing significant trees to be removed or preserved.
- No more than 25% of the required caliper inches may be of the same genus. Currently, the applicant is proposing to plant maples (27%), spruce (45%), and lilac (27%). Additional genus types are needed in order to meet this requirement.
- Planting detail must show all species to scale at normal mature crown diameter or spread for local hardiness zone
- Identify ground cover for all areas of disturbed soil.

Stormwater and Utilities

The site plan includes the creation of an infiltration basin in the southwest portion of the site to handle stormwater. The applicant is proposing ground disturbing activity greater than one acre and has submitted the required grading, drainage, and erosion control plan and stormwater pollution prevention plan for large sites. These plans have been reviewed by the City Engineer who has provided comments (see attachments).

ACTION TO BE CONSIDERED:

The Planning Commission should review the site plan and provide a recommendation to the City Council. Staff supports a recommendation of approval of the site plan with the following suggested findings of fact and conditions of approval:

Findings of Fact

1. The site plan is consistent with the Comprehensive Plan with proposed conditions.
2. The site plan meets the standards listed in the City Zoning Code with proposed conditions.

Conditions of Approval

1. The east building façade fronting on Aztec St NW shall be revised to meet the façade articulation and window standards for commercial buildings.
2. Applicant shall provide information about site circulation to address the narrow driveways north and south of the building.
3. The applicant shall provide specification sheets for all light fixtures to be installed on site.
4. Applicant shall provide additional detail to demonstrate that the screening height, opacity, and material of the dumpster enclosure are consistent with Code Section 10-71-03.
5. Applicant shall revise the landscaping plan as follows:
 - Landscaping plans must be prepared by a licensed landscape architect or other similar professional.
 - Identify the location, type, and size of all existing significant trees to be removed or preserved.
 - No more than 25% of the required caliper inches may be of the same genus. Currently, the applicant is proposing to plant maples (27%), spruce (45%), and lilac (27%). Additional genus types are needed in order to meet this requirement.
 - Planting detail must show all species to scale at normal mature crown diameter or spread for local hardiness zone
 - Identify ground cover for all areas of disturbed soil.
6. Applicant shall address all comments from the City Engineer in the memo dated May 22, 2026.
7. Applicant shall address any comments from MnDOT.

8. Other conditions identified during the review process by Staff, the Planning Commission, or the City Council.

After the public hearing and discussion, the Planning Commission could take one of the following actions:

1. Recommend approval with the conditions and findings of fact as presented by Staff.
2. Recommend denial with findings of fact as presented by Staff.
3. Table the request to the next Planning Commission meeting and provide direction to Staff and the applicant as to the additional information needed.

Suggested Motion:

Move to recommend approval of the Top Tier Automotive site plan with conditions and findings as presented by Staff.

ATTACHMENTS:

- Applicant Submittals
- Dakota Steel information
- City Engineer memo dated May 22, 2026

For your consideration,

We are proposing to build a first-class automotive repair facility at parcel ID number 323424320073. Being a first-class automotive repair facility means we are going to be offering a wide array of general automotive repair services. The majority of our business model that will be conducted on a daily basis include scheduled maintenance items such as fluid exchange services, suspension component replacement, and brake component replacement. Other services include exhaust component replacement, electrical component replacement, tire replacement, and wheel alignment services. A smaller portion of our business model includes performing engine and driveline diagnostic services and repair, vehicle electronic component/module diagnostic and repair/programming, evaporative emission system diagnostic and repair, and heating and air conditioning diagnostic and repair. When it comes to performing engine, transmission, and differential repair, services we plan on NOT providing are engine rebuilding or reconditioning. Meaning we will NOT be performing any sort of repair to the internal components of the engine, transmission, or differential assemblies. We are a light duty automotive repair facility. Meaning we will NOT be providing ANY sort of repair service to any vehicle weighing over 12,000 pounds. Along with being a light duty automotive repair facility, this also means we will NOT be offering any sort of body, frame, fender straightening, overall painting, or paint shop services.

In terms of outdoor storage, the only outdoor storage area we will need is an area for our trash receptacle. All used automotive chemicals that will require professional recycling services are going to be stored indoors at all times. Used tires will also have their own designated area of storage inside of our building.

In terms of our building, we have plans of constructing a 60' by 80' rectangular building which will consist of storage areas, a waiting area for our guests, and 8 vehicle service bays to perform repair services on the vehicles that visit our facility. This leaves ample room for a minimum of 16 vehicles inside of the building at the end of the work day so our guests' vehicles are protected and will not have to sit outside overnight.

Above all, we want nothing more but to be a positive addition to your community, offer a professional and fair service, and ultimately become a part of your community. To us, this includes being transparent, prompt, and professional in terms of abiding by the local guidelines set before us.

Thank you again for your time and consideration,

Josh Templin 320-224-1472

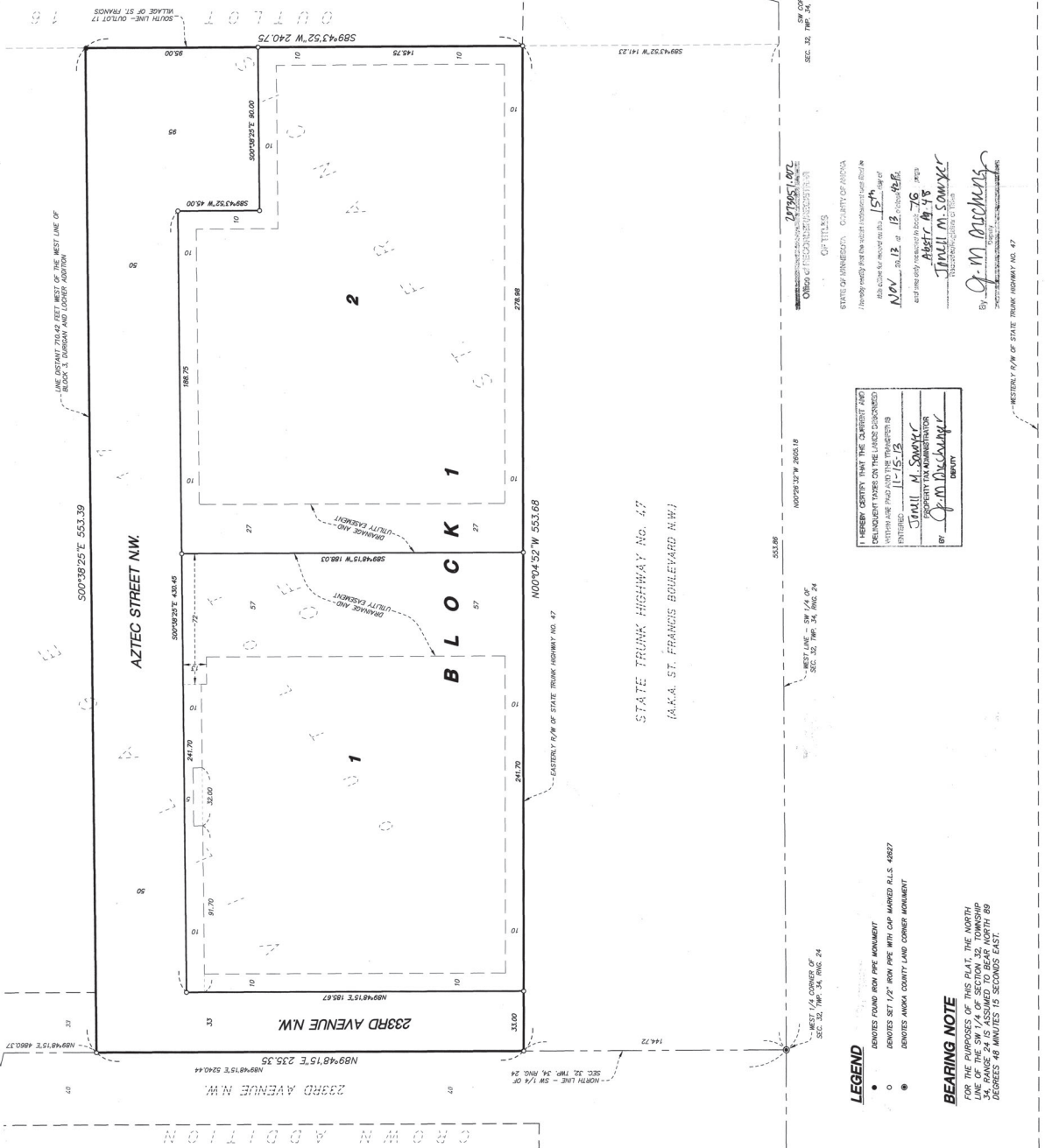
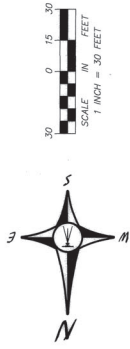
Cam Waldron 320-980-6761

Brian Smith 612-810-9960

OFFICIAL PLAT

AZTEC COMMERCIAL PARK

Block 1 & 2 of Aztec, City of St. Francis, Anoka County, Minnesota
 SEC. 32, T. 34, R. 24



KNOW ALL PERSONS BY THESE PRESENTS: That O'Reilly Automotive Stores, Inc., a Missouri corporation, owner of the property located at 171 Wallace St., St. Francis, Minn. East of the Eastern Right of Way (R.O.W.) of State Trunk Highway No. 47, as now laid out and traveled, (ing West of a line distant 719.42 feet West of the West line of Block 3, DUNIGAN AND LOCKER ADDITION, and lying south of the north line of the Southwest Quarter of the Section 32, Township 34, Range 24, Anoka County, Minnesota. Has caused the same to be surveyed and platted as AZTEC COMMERCIAL PARK and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said O'Reilly Automotive Stores, Inc., a Missouri corporation, has caused these presents to be signed by its proper officer this 15th day of November, 2013.

O'REILLY AUTOMOTIVE STORES, INC.

[Signature]
 Jeff Steinhilber, Exec. VP of State Operations & Sales
 State of Minnesota, Missouri
 County of Crowley

This instrument was acknowledged before me on November 13, 2013 by Jeff Steinhilber, Vice VP of State Operations & Sales of O'Reilly Automotive Stores, Inc., a Missouri corporation, on behalf of the corporation.

[Signature]
 Ellen Mitchell Bevan
 Notary Public, Minnesota County, Minnesota
 My commission expires 7/23/2014

I, Kyle J. Reddy do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all boundaries and wet lands, as defined in Minnesota Statutes, Section 509.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this 15th day of November, 2013.

[Signature]
 Kyle J. Reddy, Licensed Land Surveyor
 Minnesota License Number 42887
 State of Minnesota
 County of Crowley

This instrument was acknowledged before me on November 14, 2013 by Kyle J. Reddy.

[Signature]
 Kelly E. Anderson
 Notary Public, Minnesota County, Minnesota
 My commission expires 4/30/2016

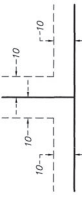
CITY COUNCIL, CITY OF ST. FRANCIS, MINNESOTA
 This plat of AZTEC COMMERCIAL PARK was approved and accepted by the City Council of the City of St. Francis, Minnesota at a regular meeting thereof held this 14th day of November, 2013, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.01, Subd. 2.

CITY COUNCIL, CITY OF ST. FRANCIS, MINNESOTA

By: *[Signature]* Mayor
 By: *[Signature]* Clerk
 ANOKA COUNTY SURVEYOR
 hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 1, this plat has been reviewed and approved this 15th day of November, 2013.

Larry D. Holum, Anoka County Surveyor

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THEREIN.



BEING 10 FEET IN WIDTH AND ADDING LOT LINES AND UTILITY EASEMENTS TO THE LOTS INDICATED ON THIS PLAT.

STATE OF MINNESOTA, COUNTY OF ANOKA
 I HEREBY CERTIFY THAT THE CURRENT AND DELINQUENT TAXES ON THE LANDS COMPREHENDED WITHIN ARE PAID AND THE TRANSFER IS ENTERED: 11-15-13
 JIMMIE M. SOMMER
 PROPERTY TAX ADMINISTRATOR
 ANOKA COUNTY

LEGEND
 • DENOTES FOUND IRON PIPE MONUMENT
 ○ DENOTES SET 1/2" IRON PIPE WITH CAP MARKED R.L.S. 4827
 ● DENOTES ANOKA COUNTY LAND CORNER MONUMENT

BEARING NOTE
 FOR THE PURPOSES OF THIS PLAT, THE NORTH BEARING OF THE STATE TRUNK HIGHWAY NO. 47, RANGE 24 IS ASSUMED TO BEAR NORTH 89 DEGREES 48 MINUTES 15 SECONDS EAST.

Agenda Item # 7A.





SCHULTZ ENGINEERING & SITE DESIGN
 18 SOUTH RIVERSIDE AVENUE, SUITE 200
 SATELLI, MINNESOTA 55378
 (763) 437-4649
 info@schultzeng.com
 www.schultzeng.com

I HEREBY CERTIFY THAT THIS PLAN
 SPECIFICATION OR REPORT WAS
 PREPARED BY ME OR UNDER MY
 SUPERVISION AND THAT I AM A DULY
 LICENSED ENGINEER UNDER THE LAWS
 OF THE STATE OF MINNESOTA.

Norman Schultz
 NORMAN E. SCHULTZ, P.E.
 LICENSE NO. 100000000000000
 DATE: 06/03/2026

REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	

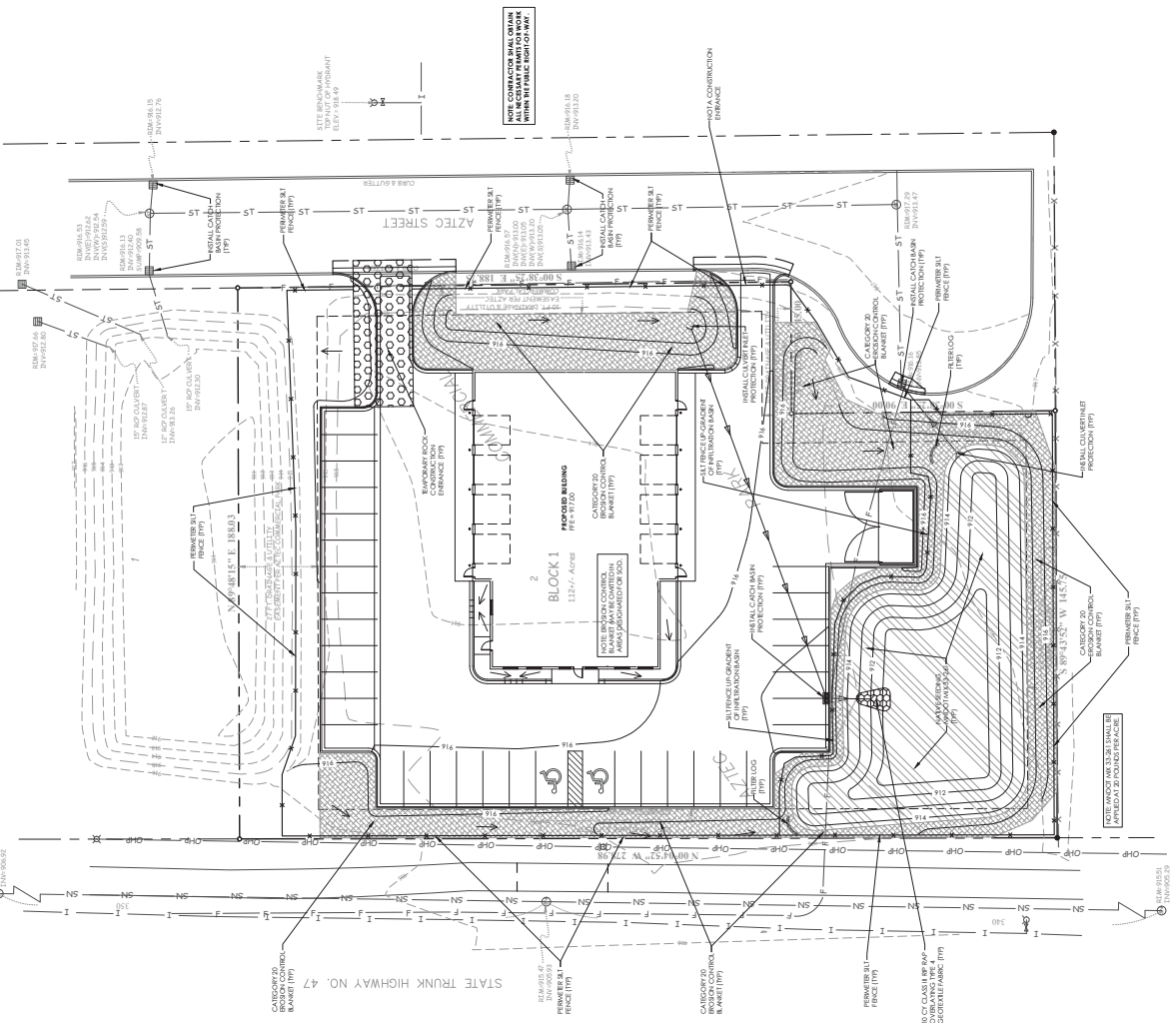
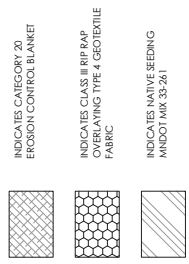
SCHULTZ ENG. PROJECT NO.: 26014
 ISSUE DATE: 06/03/2026
 DRAWN BY: NES
 CHECKED BY: BUS
 REVIEWED BY: BUS
 DESIGN: JLC 2026

CIVIL SHEET INDEX
 C1: TITLE SHEET
 C2: CIVIL PLAN
 C3: EROSION CONTROL SPECIFICATIONS
 C4: C&G - STANDARD DETAILS
 C5: SWPPP STANDARD NOTES
 C6: SWPPP - STANDARD DETAILS
 C7: SWPPP - STANDARD NOTES
 C8: SWPPP - STANDARD DETAILS
 C9: SWPPP - STANDARD NOTES

TOP TIER AUTO
 AZTEC STREET
 ST. FRANCIS, MN
 SWPPP - PLAN VIEW



Agenda Item # 7A.



26014SWPPP-Plan.dwg



Prepared For: Winicre

Job Name:
Lighting Layout

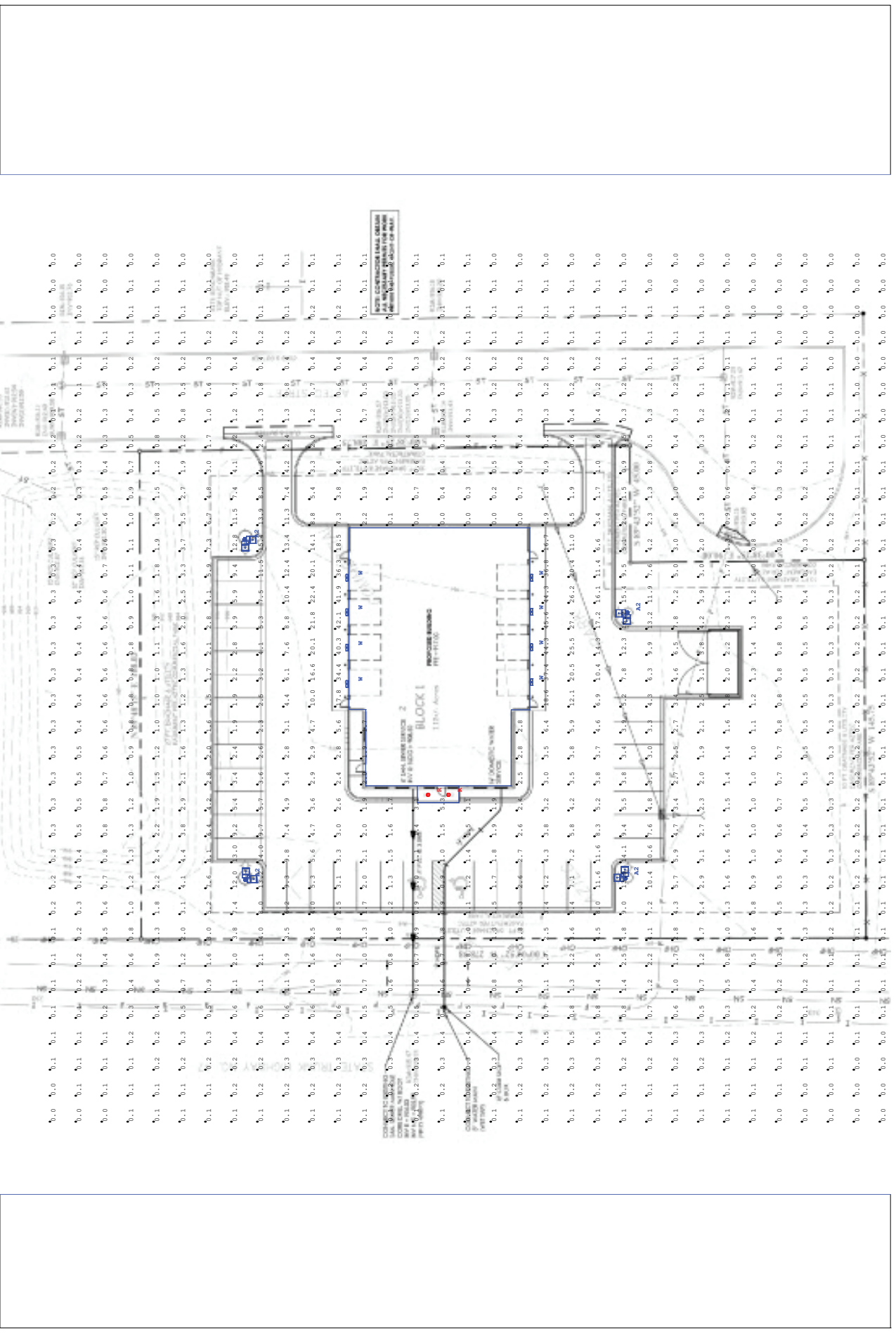
Version A

Scale: as noted

Date: 5/20/2026

Filename: Top Tor Auto.dwg

Drawn By: Matt Welch



Not to Scale

Prepared For: Winetric

Job Name:
Lighting Layout

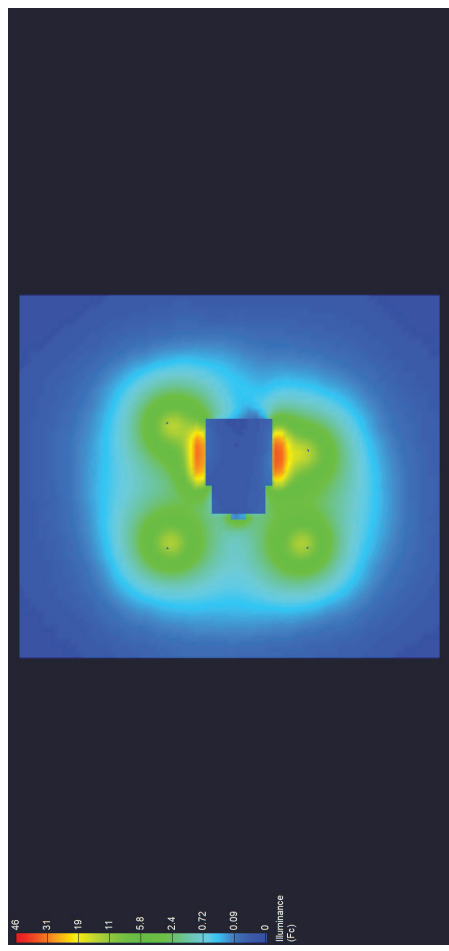
Date: 5/20/26
Scale: as noted

Filename: Top Tier Auto.dwg
Drawn By: Matt Welch

Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
CalcPis_1	Illuminance	Fc	2.20	45.6	0.0	N.A.	N.A.	Readings taken @ 0'-0" AFG	10	10	Horizontal

Luminaire Schedule											
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
	2	R	r6119fa120ws-5000k	Single	1056	1056	1.000		9.83	9.83	19.66
	8	W	wpled1-85w-5000k_dif240s102-6a	Single	11126	11126	1.000	WPLEDL @ 85W_5000K	83.5	83.5	668
	4	A2	A17-4T150-120V - MOD50	2 @ 90 degrees	21291	42582	1.000	A17-4T150-120V - MOD50	149.56	299.12	1196.48

Expanded Luminaire Location Summary									
LumNo	Tag	X	Y	MTGHT	Orient	Tilt			
1	A2	263.348	348.005	24	0.616	0			
1	A2	262.359	346.994	24	270.616	0			
2	A2	363.128	347.344	24	271.115	0			
2	A2	362.109	346.325	24	181.115	0			
3	A2	262.934	202.853	24	90.443	0			
3	A2	263.942	201.861	24	0.443	0			
4	A2	363.86	201.172	24	179.845	0			
4	A2	364.863	202.169	24	89.845	0			
5	R	294.869	277.824	10	90	0			
6	R	294.869	269.944	10	90	0			
7	W	338.296	238.35	16	270	0			
8	W	337.595	308.543	16	90	0			
9	W	351.779	238.35	16	270	0			
10	W	365.437	238.35	16	270	0			
11	W	378.57	238.35	16	270	0			
12	W	351.604	308.543	16	90	0			
13	W	365.262	308.543	16	90	0			
14	W	378.57	308.543	16	90	0			
Total Quantity: 18									



*****LAYOUT AND BOM ARE SUBJECT TO APPROVAL*****

NOTES:
 * The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.
 * Illumination values shown (in footcandles) are the predicted results for planes of calculation either to the plane of calculation.
 * The calculated results of this lighting simulation represent an anticipated prediction of system performance. All dimensions, mounting heights, and methods are subject to change and are subject to the control of the designer.
 * Mounting height determination is job site specific, our lighting simulations assume a mounting height (mounting point or luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
 * RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

Dakota Steel

Agenda Item # 7A.



Our steel paneling and roofing solutions include 24,26,28,29 Gauge available in the right substrate for your residential, agricultural, or light commercial project.

2900 AZ50 Galvalume

2960 Galvanized

2990 Galvanized

2600 AZ50 Galvalume

2690 Galvanized

2400 AZ50 Galvalume*

28 Gauge Standard Trims

**80,000
PSI**
MINIMUM
TENSILE
STRENGTH

TESTING:

- UL 790, Class A Fire Resistance Rating
- UL 2218, Class 4 Impact Resistance
- UL 580, Class 90 Wind Uplift Rating



Maxx Shield 45 Paint System



Clay Mist

Ash Gray

Smoke Gray

Charcoal Gray

Dakota Gray

Light Brown

Cocoa Brown

Dark Brown

Burnished Slate

Black

Roman Blue

Gallery Blue

Dark Blue

Canton, SD • Office: 866.987.9080 • Freeport, MN
www.dakotasteelandtrim.com

Maxx Shield 45 Paint System

- ▶ Impact Rating – Class 4
- ▶ Fire Rating – Class A
- ▶ Superior Wind Resistance
- ▶ Long Lasting Performance
- ▶ Low Maintenance
- ▶ Eco-Friendly

45 YEAR WARRANTY

DST 45 Year Paint Warranty, see your local representative for details. These color samples are as close as possible to actual colors offered, within the limits of color chip reproduction.

Warranty Information

45 Year Limited Paint Warranty

Dakota Steel and Trim is pleased to present to you the following Limited Warranty on our Maxx Shield 45 Silicized Polyester coil coatings. This warranty is based on the Maxx Shield 45 paint system. This warranty applies if any of the following Warranty Conditions occurs:

- Within 45 years from date of installation, Maxx Shield 45 exhibits cracking, flaking, or peeling (loss of adhesion) to an extent that is apparent on ordinary outdoor visual observation.
- Within 30 years from the date of installation, Maxx Shield 45:
 - Chalks in excess of ASTM D-4214 method A number six (6) rating on horizontally installed (roofing) panels and a number eight (8) rating on vertically installed (sidewall) panels, when properly maintained as described herein, and
 - Changes color more than seven (7.0) Hunter delta-E units on horizontally installed (roofing) panels and five (5.0) Hunter delta-E units on vertically installed (sidewall) panels as determined by ASTM method D-2244. Color changes may not be uniform on surfaces that are not equally exposed to the sun and elements and Dakota Steel does not warranty that color changes will be uniform.

If a Warranty condition occurs and other requirements of this Warranty are met, Dakota Steel and Trim will provide you with the following benefits:

- Replacement of the metal panels showing the Warranty Conditions. The Warranty Benefits shall not exceed the original purchase price of the affected metal panels (not including any accessories or attachments) or the remedy provided in any other warranty provided to the building owner, whichever is less, even if our limited warranty fails of its essential purpose. This Warranty will continue to apply to any metal panels that were replaced due to a Warranty Condition, but only for the unexpired portion of the Warranty period applicable to the original part.

Dakota Steel and Trim cannot control the circumstances of application. Therefore, this Limited Warranty applies only when Maxx Shield 45 coil coatings are properly applied to a properly pre-treated and primed substrate.

To receive Warranty Benefits for Warranty Condition, you must:

1. Send written notice of the Warranty Condition within thirty days of the appearance of any detectable defect to Dakota Steel and Trim.
2. Provide access to the affected panels and site.
3. Assist us as necessary in determining the exact cause of failure.
4. Provide such documentation as we shall request to confirm the Warranty Condition, including records sufficient to identify the steel source, production records, and installation records.

Cocoa Brown

Burnished Slate

Barn Red

Forest Green

Gallery Blue

Smoke Gray

NEW FROM

A-TEX TEXTURE PAINT

- ▶ Reduces Glare
- ▶ Greater Slip Resistance
- ▶ Better Scratch Resistance
- ▶ MAXX SHIELD 45 PAINT

Strong Rib 29 GA & 26 GA

Quad Rib 29 GA & 26 GA

Pioneer Rib 29 GA & 26 GA

12" & 16" Standing Seam 26 GA

Colors on this chart are close representations of actual colors. Color variations may occur due to printing and viewing conditions. Color variations are normal and not cause for rejection. Due to texture these colors will not perfectly match and are not interchangeable with other similar DST colors. Metal samples are

40

Galvalume & SMP



- Galvalume

1. Combines three of the most high-performing and important metals used in roofing today — steel, aluminum, and zinc. Manufacturers begin with a cold-rolled carbon steel base sheet that is continuously hot-dipped with aluminum and zinc alloys (AZ) until it reaches a coating of 55% aluminum, 43.4% zinc, and 1.6% silicone. This process allows for one material to have some of the best characteristics of each metal, which is why it's become one of the most popular metals used in metal roofing.
2. Galvalume may also be referred to by its coating weights, AZ-50 and AZ-55. Here's a quick breakdown of what these two terms mean: AZ-50 = 0.50 ounces per square foot of the aluminum-zinc alloy coating applied to both sides of the substrate. AZ-50 is the typical coating weight for painted sheet and coil products.

- SMP-(Siliconized Modified Polyester)

1. Exceptional Scratch Resistance: SMP is a harder coating, making it highly resistant to scuffs and damage during the manufacturing, shipping, and installation process.
2. Long-Lasting Film Adhesion: It generally features strong 40-year warranties protecting against cracking, flaking, or peeling.
3. Improved Weathering: The addition of silicone provides better gloss retention and resistance to fading and chalking than standard, non-modified polyester paints.
4. Design Variety: SMP coatings are available in a wider range of gloss levels and textured finishes compared to premium alternative

Quad Rib

Uni Rib





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 Canton, SD 57013 Freeport, MN 56331
 Office: 866-987-9080
www.dakotasteelandtrim.com
 email: info@dakotasteelandtrim.com

QUAD - RIB -



SPECIFICATIONS:

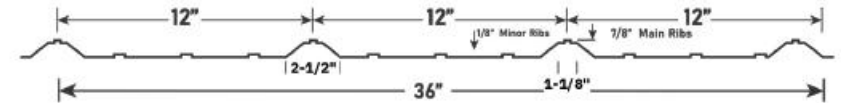
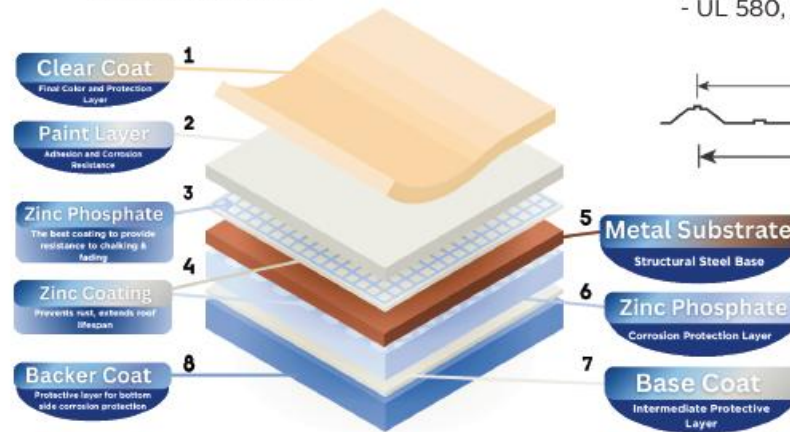
- Panel coverage - 36"
- Minimum recommended slope - 3:12
- Available Gauges - 29 ga. and 26 ga.
- Painted Product carries up to a 45-year warranty using MAXX Shield 45 Paint System
- Bare product is Acrylic Coated G-90 Galvanized
- Protection Formula

PANEL INFORMATION:

- Panel has a 36" coverage, with 7/8" high ribs 12" on center.
- Maximum recommended panel length is 45' - 0".
- Panel can be used over open framing, or solid substrate.

TESTING:

- UL 790, Class A Fire Resistance Rating
- UL 2218, Class 4 Impact Resistance
- UL 580, Class 90 Wind Uplift Rating



MEMORANDUM

TO: Beth Richmond, City Planner

CC: Jodie Steffes, Community Development Director
Craig Jochum, City Engineer
Shane Nelson, Assistant City Engineer

FROM: Sam Jochum, Hakanson Anderson

DATE: May 22, 2026

RE: Top Tier Auto Site Plan Review No. 1

We have reviewed the Top Tier Auto Civil Construction Plans, prepared by Schultz Engineering and the Report of Geotechnical Exploration for St. Francis Automotive Facility, dated January 23, 2025, prepared by Independent Testing Technologies. We would offer the following comments:

1. Sheet C1
 - Add the name and address of the owner.

2. Sheet C2 and Sheet C4
 - Show the building and parking setbacks.
 - Driveway aprons shall be constructed per City Standard Plate 702. Replace detail 9 with City Standard Plate 702 on sheet C4.
 - The trail section on the east side of the property shall be constructed per City Standard Plate 707. Add City Standard Plate 707 to detail.
 - Add the City Standard Plates for sewer and water service details.
 - A MNDOT permit will be needed for the proposed work in their right-of-way.

3. Sheet C3
 - Review all notes and add the City Standard Plates for sewer and water service details.
 - Add the specific material type for the watermain service pipe. For HDPE, the City allows High Density Polyethylene SDR 11.
 - Sanitary sewer service pipes and fittings shall be PVC SDR 26, regardless of bury depths. All service pipe connections shall be solvent welded. Review and revise notes as necessary.

4. Sheet C5
 - Show the size of the existing catch basin that will be connected into at Aztec street. Catch basin will need to be replaced if smaller than a 48-inch diameter catch basin.
 - Provide additional spot grades along the Aztec Street driveway tie ins.
 - Low points are in the curb with no call outs for catch basins or tip-out curb to direct stormwater elsewhere. Review and revise if necessary to avoid stormwater ponding in curblines.

- Show an ADA accessibility route from the handicap parking stalls to the entrance of the building. It appears the slopes exceed allowable slopes.
5. Sheet C6
- Add the language from sections 23.9, 23.10, and 23.11 of the NPDES Construction Stormwater permit as this site is within 1-mile of a special water.
6. Sheet C8
- Clarify where and what type of seed mixes and application rates are proposed for permanent restoration.
 - Clarify if sod is being used for permanent restoration.
 - Add fertilizer and mulch material types and application rates being used for permanent restoration.
7. Sheet C9
- Replace any sanitary and watermain details on sheet C4 with appropriate City Standard Plates.
 - Review the City Development Standards Section IV and add additional information to the watermain tapping process to satisfy the methods of construction called for in the City Development Standards.
8. Other comments:
- The site currently disturbs more than 1 acre of land therefore a NPDES Construction permit will be required prior to the start of construction. The site may require a Minnesota DNR Water Appropriations Permit.
 - Prepare and submit a Stormwater Management Plan.
 - All pedestrian ramps and landings shall be constructed with 6 inches of concrete. Revise the plans as necessary. Also note that all pedestrian ramps, landings, and ADA parking stalls shall be constructed per current ADA standards.
 - Provide documentation that there are no wetlands onsite.
 - St. Francis is a permitted MS4 City and is responsible for inspecting and enforcing maintenance practices on all stormwater facilities within its corporate boundary. A maintenance agreement needs to be executed and recorded for the proposed infiltration basins.
 - The applicant shall meet all requirements of the Building Code and the Department of Labor and Industry.
 - Any proposed lighting shall meet the requirements of Section 10-71-04 of the City Code.
 - The applicant's engineer shall review and approve shop drawing information for the sewer and water service construction and then forward this information to the City for approval.
 - Provide estimated construction costs for Site Improvement Plan Agreement security.
 - All plans need to be certified/signed.
 - The City is currently reviewing the reconstruction and relocation of its sewer and watermain trunks. The service locations shown may need to be revised.