



PLANNING COMMISSION

**ISD #15 DISTRICT OFFICE BUILDING
4115 AMBASSADOR BLVD.
October 17th, 2018**

7:00 PM

AGENDA

1. Call to Order/Pledge of Allegiance
2. Roll Call
3. Adopt Agenda
4. Approve Minutes September 19, 2018
5. Public Comment
6. Public Hearings
 - a. Rezoning – Laketown Homes, LLC
 - b. CUP – Laketown Homes, LLC
 - c. Easement Vacation – Laketwon Homes, LLC
7. Regular Business Items
 - a. November Planning Commission Meeting
8. Discussion by Planning Commissioners
9. Adjournment

Website Link to Agenda and Packets:

There may be a quorum of St. Francis Council Members present at this meeting.

CITY OF ST. FRANCIS
ST. FRANCIS, MN
PLANNING COMMISSION MINUTES
September 19, 2018

1. **Call to Order:** The Planning Commission meeting was called to order at 7:00 pm by Chairman Steinke.
2. **Roll Call:** Present were Ray Steinke, Brittany Berndt, Todd Gardner, Liz Fairbanks, and William Murray. Absent: Julie Morin, and Greg Zutz

Others in attendance: Mike Creelman- Assistant Community Development Director, Beth Richmond- City Planner and Rich Skordahl - City Council

3. **Adopt Agenda:** Motion by Berndt, second by Murray to approve the September 19, 2018 agenda. Motion carried 5-0.
4. **Approve Minutes:** Motion by Berndt, second by Gardner to approve the July 18, 2018 minutes. Motion carried 5-0.
5. **Public Comment:** None
6. **Public Hearing:**

a) **Preliminary Plat – Laketown Homes, LLC**

- Richmond, reviewed the packet.
 - Public Hearing should be held for the Preliminary Plat and a posting for both a Conditional Use Permit and Planned Unit Development for the October 17, Planning Commission Meeting.
 - This second phase will be similar to the first phase approved back in June 2018.
 - MN DNR has been reviewing the development with portions of it being located in the Rum River Management District.
 - The request for the Preliminary Plat should be tabled and brought back at the October meeting along with the Conditional Use Permit and Planned Unit Development.
- Public Hearing opened 7:11pm
 - Dale (developer), first phase is under construction and phase two is hoping to be underway in early spring 2019.
- Public Hearing closed 7:13pm

7. **Regular Business Items:**

a) **Concept Plan – Turtle Ponds 3rd**

- Richmond reviewed the Concept Plan.
 - A PUD for mixed use development was approved back in 1996.
 - Wetlands are located on the North, East and South side of the purposed development.
 - The purposed development was discussed back in 1996 with the buildings being 15 feet apart and 24 feet from the back of the curb.

- Parking in the purposed development would need to have a minimum of 4 guest parking spaces, which is not addressed on the concept plan.
 - The floodplain may have a large impact on this purposed development.
 - At this time the applicant is asking for any feedback on the submitted concept.
- Steinke, asked about borings and if the City has been provided with any lowest floor level information.
 - Richmond, clarified that none of this information has been provided at this time.
- Berndt, asked about wetland delineation and if it would have changed since 1996.
 - Richmond, addressed this by stating that research has been done on this, but a new wetland report may be done if needed or wanted.
- Berndt, asked about lot sizes.
 - Richmond, explained that the PUD allowed for a 25% reduction in a lot area over 8,100 square footage.
- Steinke, questioned the total number of lots going in for the new concept plan.
 - Raymond, explained that the new concept is showing 8 detached structures rather than the 12 attached structures purposed back in 1996.
- Gardner, asked about how many stories the structures will be and what the aesthetics will be.
 - Richmond, explained that these characteristics are not yet known, but would be a good question for the applicant.
- Murray, asked about the storm water pond in the area and if this would be looked into further.
 - Richmond, pointed out the pond in the area, but mentioned the engineers will be doing a review on these types of items.
- Berndt, asked what the width of the private drive would be for the new development.
 - Richmond, addressed the concept plan and stated that it looks as if the drive would be 24 to 28 feet in width.
 - Berndt, asked if this would meet the requirements for the emergency vehicles.
 - Richmond, explained that City staff will be looking into this further.
- Murray, pointed out that the current layout may cause a lot of congestion and tough turn around for larger vehicles. Asked if a cul-de-sac may be a good solution at the end of the drive.
 - Richmond, stated that City staff and engineers will be looking into this further.

8. Planning Commission Discussion –

- Creelman, brought it the Commission's attention that the November meeting is scheduled for the day before Thanksgiving. If any Commissioner would not be able to make it to the meeting staff is requesting the Commissioners notify staff as soon as possible.

9. Adjournment: Motion by Berndt, second by Gardner to adjourn. Motion carried 5-0. Meeting adjourned at 7:35 pm.

DATE APPROVED:

City of St. Francis Planning Commission Agenda Item
Executive Summary

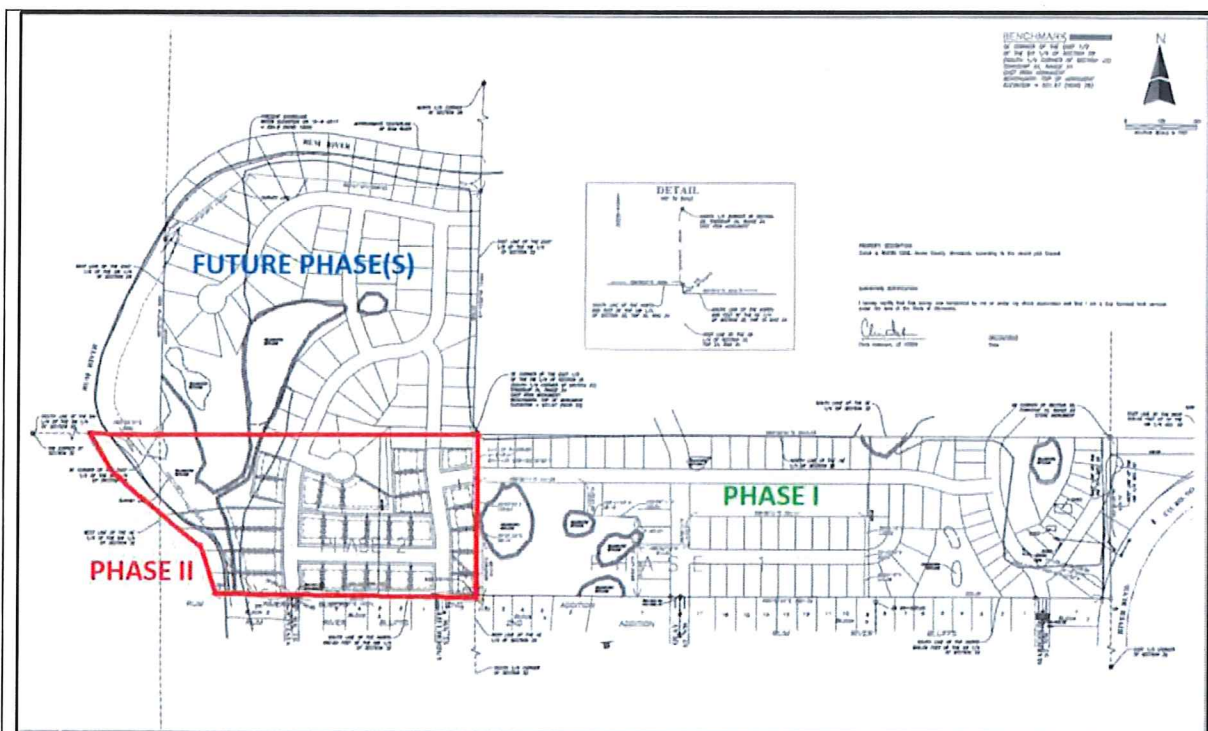
- Title of Item:* **Rivers Edge Phase II – Development Stage PUD:** A request from St. Francis Land Development, LLC for PUD Development Stage approval (Preliminary Plat), and associated rezoning to a PUD to establish 30 new lots on 20.2 unaddressed acres to the north of the Rum River Bluffs PUD and to the west of the 1st Addition of the Rivers Edge PUD; PID: 32-34-24-21-0001. The applicant is also requesting an easement vacation and a conditional use permit (CUP) to construct public roads in the Rum River Management District.
- Meeting Date:* 10-17-18
- Staff Reporting:* Beth Richmond, City Planner
- Summary:* The applicant is seeking PUD Development Stage approval of 30 new urban lots on 20.2 acres north of Rum River Bluffs on the Rum River. This land is located within the Rum River Management District. The PUD Development Stage approval request was tabled at the Planning Commission meeting on September 19, 2018, in order to allow all of the land use requests for this proposal to be considered concurrently. The public hearing for the preliminary plat was held at the September 19, 2018 meeting. There were no members of the public present to speak for or against the development proposal.
- Recommendations:* Staff recommends approval of the PUD Development Plan and preliminary plat, future rezoning to a PUD, easement vacation, and CUP subject to conditions.
- Template motions and suggested findings of fact can be found on pages 15-17. Recommended conditions can be found on pages 17-19.
- List of Attachments:* A) Staff Report
B) Applicant's Submittals
C) Engineering Memo
D) Public Comment from SBD Properties, LLP

City of St. Francis Planning Department
Rivers Edge 2nd Addition Development Stage PUD Review

To: Planning Commission
From: Beth Richmond, City Planner
Meeting Date: 10-17-18
Applicant(s): St. Francis Land Development, LLC (Dale Willenbring)
Location: Outlot A, Rivers Edge 1st Addition

Introductory Information

<i>Request:</i>	The applicant is seeking a PUD development stage approval, including a preliminary plat, on the creation of 30 new urban lots on 20.2 acres north of Rum River Bluffs and east of the Rum River. In addition to the PUD development stage approval, the applicant has also requested the following: • Rezoning from R-2 to PUD • CUP to build a public road in the Rum River Management District • Drainage and utility easement vacation
<i>Background:</i>	The applicant is proposing to create 30 new urban lots on 20.2 acres adjacent to the Rum River as the 2nd Addition of the Rivers Edge subdivision. The 2nd Addition is located west of the 1st Addition and is part of the Rum River Management District Urban Area. The remaining 33.6 acres of land within the Rum River Management District (RRM) that were examined for development during the Rivers Edge subdivision concept plan review will go through a separate development stage application process at some point in the future.



Site Data:

- Existing Zoning – R-2 (Single Family Residential)
- Land Use Guidance – Low Density Residential (1.5 to 2.5 units per net acre)
- Acres – 20.2 acres (all within the City's current MUSA)
- Property Identification Number (PID) – 32-34-24-21-0001

Various Calculations

TOTAL PROPERTY AREA	20.2 acres
WETLAND AREA	4.06 acres
NET ACREAGE AFTER WETLANDS	16.14 acres
TOTAL PROPOSED LOTS	30 units
GROSS DENSITY	1.50 units/acre
NET DENSITY	1.86 units/net acre

Application Review

Existing Site Character:

- The site currently consists of open farm fields and woodlands. The western portion of the site adjacent to the Rum River is heavily wooded and slopes steeply downward from east to west to meet the river.

PUD STANDARDS REVIEW:

Ownership:

- Before final plan approval, proof of ownership shall be provided by the applicant.

Comprehensive Plan Consistency:	• <i>Page 2-8 states that the density range within the Low Density Residential classification is 1.5 to 2.5 units per net acre. PUDs are allowed provided the City's PUD ordinances are "rigorously" applied and the gross residential density does not exceed 2.5 units per acre.</i> Staff comment: The net density for the proposed development is 1.86 units per net acre. This density is within the range required for a low density residential development. The gross density of Phase II is 1.5 units per acre. The gross density of Phase I was 2.6 which exceeded the maximum allowance of 2.5 units per acre. Combining the gross density of Phases I and II together, the gross density is 2.26 units per acre, within the required range. When future phases of the Rivers Edge development plan are proposed, the Commission and Council should review their proposed densities in accordance with those densities already approved in prior phases to ensure that the overall gross density within the Rivers Edge development is below 2.5 units per acre. • <i>Land Use Policy A (pg. 2-15) states that "residential subdivision design must preserve important natural features and promote St. Francis as a distinct location from its suburban neighbors. Policies supporting the statement include:</i> • <i>Development should preserve woodlands, wetlands, natural lakes, and other natural features.</i> • <i>New subdivisions must include amenities which establish a small town character and feel.</i> • <i>Planned roadway connections must be extended and new dead-ends created where future extension will occur.</i> Staff comment: The proposed development plan protects the wooded areas, steep slopes, and wetlands on the property. The applicant is proposing to extend all planned roadway connections through this area. • <i>Land Use Policy C (pg. 2-16) seeks creative approaches to the use of land. "New residential subdivisions, especially those utilizing a PUD design process, will be evaluated as to their variety and diversity of housing materials, colors, architectural styles and details, and other factors."</i> Staff comment: The 2nd Addition introduces larger lots overlooking the Rum River, which are the third type of lifestyle home site proposed by the developer for the overall Rivers Edge development.
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Compatibility:	- Single-family homes will be consistent with the existing land use to the south and east as well as with the planned land use in this portion of the City. - Given that a similar development plan was already approved on this site in 2006, the City has already determined that development of this area is compatible with adjacent land uses and is not premature. Completion of the upgrades to the City’s wastewater treatment plan provides adequate sewer capacity for this development.																					
Common Open Space:	The proposal includes an open area of preserved woodland in the northwest corner of the property along the Rum River (Outlot B). The applicant is proposing to dedicate this area to the City to be used as a passive park. More information about this common open space can be found in the park dedication section of this report.																					
Operations:	The Final PUD plans shall contain provisions to assure the continued operation and maintenance of all open space and service facilities to a pre-determined reasonable standard.																					
Density:	The net density for the 2nd Addition is 1.86 which falls within the range required for a low density residential development (1.5 to 2.5 units per net acre).																					
Landscaping:	- As of 10/5/18, no landscaping plan has been provided. - The proposed plan should be harmonious with the overall PUD design and with the provisions of Code Section 10-82-7 for landscape alterations within the RRM. Staff suggests that the Planning Commission make finalization of a landscaping plan a condition to be met prior to Council review.																					
Setbacks:	- Setbacks in general will be as follows: <table><tr><td>Setbacks</td><td>Required (ft.)</td><td>Proposed PUD (ft.)</td></tr><tr><td>Front</td><td>35*</td><td>35</td></tr><tr><td>Street Side</td><td>20</td><td>20</td></tr><tr><td>Side</td><td>10 House; 5 Garage</td><td>7.5</td></tr><tr><td>Rear</td><td>30</td><td>30</td></tr><tr><td>Wetland</td><td>30</td><td>30</td></tr><tr><td>Ordinary High Water Line</td><td>75*</td><td>75</td></tr></table> *Required by RRM - As required by Code, all buildings within the proposed PUD will be at least 15 feet from the back of the internal street system curb lines. - All buildings are proposed to be located at least 15 feet apart. The	Setbacks	Required (ft.)	Proposed PUD (ft.)	Front	35*	35	Street Side	20	20	Side	10 House; 5 Garage	7.5	Rear	30	30	Wetland	30	30	Ordinary High Water Line	75*	75
Setbacks	Required (ft.)	Proposed PUD (ft.)																				
Front	35*	35																				
Street Side	20	20																				
Side	10 House; 5 Garage	7.5																				
Rear	30	30																				
Wetland	30	30																				
Ordinary High Water Line	75*	75																				

(Cont.) Lot Standards:	Code requires a minimum separation of 12 feet. In the RRM urban district, all riparian lots are required to have an area of 20,000 square feet. Non-riparian lots must have a minimum area of 12, 150 square feet. All proposed lots in the 2nd Addition meet these requirements.
IN GENERAL:	
Lots and Blocks:	- All lots, blocks, and cul-de-sacs are generally conforming to minimum and maximum standards established in the Code. Deviations as may be needed can be approved as part of the PUD process provided that the deviation is in the best interest of the development and the City. - In this case, there is one deviation being proposed within this PUD: - The applicant is proposing 7.5-foot side yard setbacks instead of the 10-foot setbacks currently required in the R-2 zoning district. Staff believes the proposed deviation is appropriate for this site and is in the long-term best interest of both the development and the City. The 7.5-foot side yard setback is consistent with the requirements of the 1st Addition and maintains a minimum 15-foot separation between buildings which is greater than the 12 feet required by Code.
Lot Access:	- All proposed lots will have direct access to a public road. - Future driveways should be located so as to preserve existing trees as much as possible. - Addresses for the individual homes should be posted at each driveway entrance.
Future Parcel Development:	The proposed subdivision will subdivide 13.53 acres of the 20.2 total acres in the 2nd Addition. The remaining 6.67 acres are proposed as outlots (A and B). Outlot B is proposed to be preserved as open space while Outlot A is planned to be subdivided into additional lots in the future.
Adjacent Parcel Development:	- All Rum River Bluff roadway connections are extended as planned into this proposed development. - The surrounding land to the north may develop at some point in the future, so it is important to consider how the current proposal will integrate with future development. - The DNR has alerted City Staff that the development of future phases of Rivers Edge must follow the requirements of the rural RRM district. These requirements specify that lots must be significantly larger than what is guided by the comprehensive plan and what was proposed in the conceptual development plan for this

(Cont.)

area. They also specify that PUDs are not allowed in the rural RRM district.

- This information impacts the plans for the development of the 2nd Addition. Because the development capacity of the future development area to the north is currently limited by the requirements of the rural RRM district, Staff suggests that the northern area and its proposed development plan not be included in any evaluation of the proposed development of the 2nd Addition.
- Staff is working to resolve the discrepancies between the rural RRM district and the comprehensive plan.

Easements:

- The applicant is requesting a drainage and utility easement for the existing easement over all of Outlot A, 1st Addition as part of the platting process.
- Per the City Engineer, the standard drainage and utility easements shown on the 2nd Addition development plan documents generally look acceptable. The easements, including the existing watermain easement, must be shown and labeled with dimensions on the preliminary plat.

Resident Concerns:

- Staff was contacted by the managing partner of SBD Properties, LLP, which owns the property to the west of Rivers Edge along the Rum River. He stated that SBD Properties would be interested in selling the part of the property on the east side of the river if it made sense for the overall development plan of Rivers Edge (denoted by the “!!” on the image below). If the developer was not interested in the land, then SBD Properties, LLP would want to ensure proper ingress and egress to their property. These comments are attached to this report.



- Staff has not received any other public feedback regarding the proposed development plan.

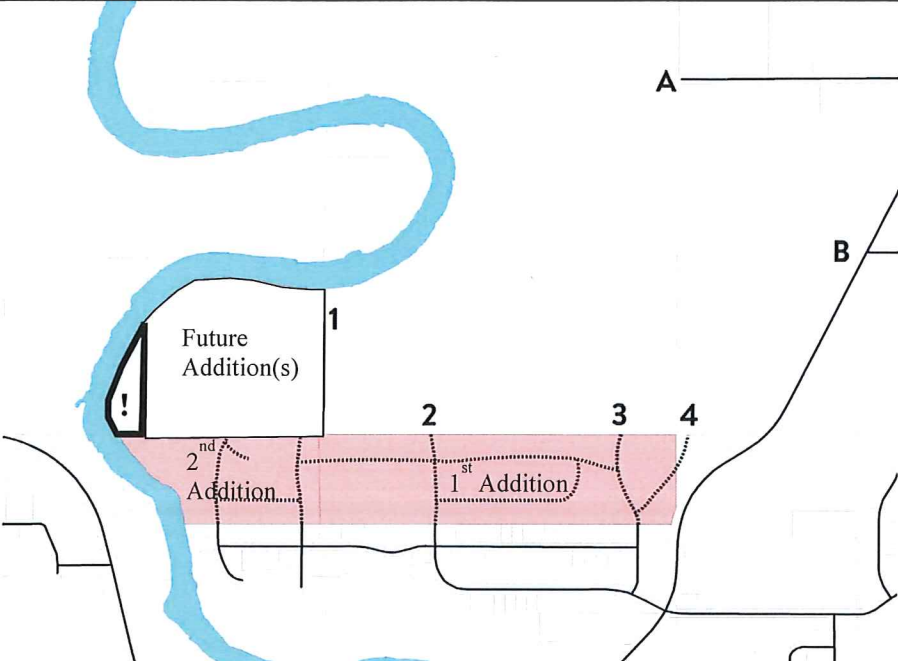
INFRASTRUCTURE:

In General:

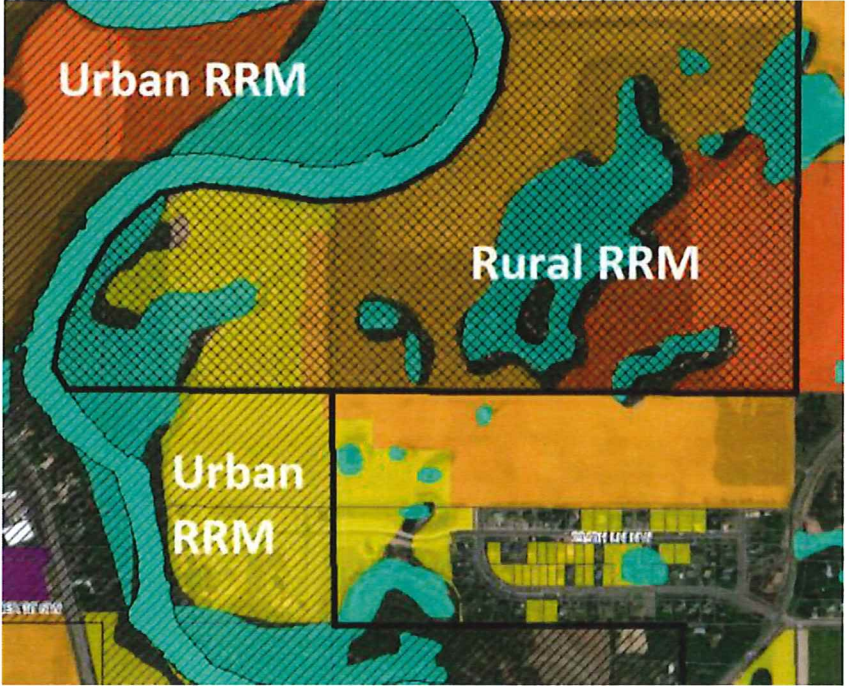
- All public improvements constructed to support the development must be designed and constructed in accordance with the City's Private Development Standards available on the City website.

Streets & Transportation:

- All roadways shall be designed and constructed to City standards.
- MN Rules 6105.0190 states that a CUP is required for the construction of all new public roads within a Wild and Scenic district (the RRM district in St. Francis).
- The applicant is proposing to extend Vintage Street NW and Underclift Street to the north and create 236th Lane NW to connect them. The applicant is also proposing to create a cul-de-sac off of Vintage Street NW (237th Circle).
- The City Engineer has provided the following comments which must all be addressed as part of Final Plan submittal:
 1. The proposed development will gain access from Vintage Street through the existing Rum River Bluffs Development which connects to Rum River Boulevard (CR 72). Improvements to CR 72 are required to be completed as development obligations for the Rum River Bluffs development.
 2. A temporary access to CR 72 has been approved by the Anoka County Highway Department at 236th Avenue in the location of the existing cul-de-sac. As agreed to with the 1st Addition, this access shall serve as the main construction entrance to the site.
 3. The street network generally appears adequate to provide access to the proposed new homes and provides connections to the existing development to the south, as well as future development to the north.
 4. Due to the phasing to-date of Rivers Edge, all of the vehicle traffic is directed to the new lots through the existing Rum River Bluffs development without a secondary emergency vehicle access. It is recommended that the next phase of Rivers Edge provide a street connection to the Rivers Edge 1st Addition via 237th Lane and to CR 72 via 236th Avenue.
- The graphic on the following page shows the roadways in the 1st Addition as well as the proposed roadways in the 2nd Addition. The roadways in the 2nd Addition connect to the existing streets to the south and provide the opportunity for future development to the north and east.

	
Water System(s):	• This development is proposed to be connected to the City's water system. • The City Engineer provided the following comments which must all be addressed as part of Final Plan submittal: 1. Water system connections are available at the south plat line. The proposed water systems appear adequate to service the proposed new lots. 2. There is an existing 16" trunk watermain that traverses through the site. It is recommended that the 16" watermain is extended to the north to serve the future low, medium, and medium/high density residential development as tentatively guided in the 2040 comprehensive plan.
Sanitary System(s):	• This development is proposed to be connected to the City's sanitary sewer system. • The City Engineer provided the following comments which must all be addressed as part of Final Plan submittal: 1. Sanitary system connections are available at the south plat line. The proposed sanitary sewer system appears adequate to service the proposed new lots. 2. Sanitary sewer manholes are required to be located on the centerline of the street.
Stormwater and Grading:	• The City Engineer provided the following comments which must all be addressed as part of Final Plan submittal:

<i>(Cont.)</i>	1. All stormwater facilities shall be designed in accordance with Chapter 10, Section 93 of the City Code, the City of St. Francis Private Development Standards, and the MPCA stormwater manual requirements 2. 3' of separation from the seasonal high ground water level to the bottom of the proposed infiltration basin is required. 3. The proposed home elevations appear to provide adequate separation from the FEMA 100-year flood elevation. 4. Access to storm structures and/or stormwater basins shall not cross wetland areas. An access route on the north side of the large wetland complex will be necessary. 5. A 1.5-foot separation between emergency overflow elevations and lowest opening elevations is required.
Utilities:	• All public utilities and facilities such as gas, electrical, sewer, and water supply systems to be located in the floodplain district shall be flood-proofed in accordance with the building code or elevated to above the regulatory flood protection elevation. • Telephone, electric, and/or gas service lines are to be placed underground in accordance with the provisions of all applicable City ordinances. • All connections and laterals shall be designed to minimum City standards.
Parking Facilities:	• Staff did not identify any parking issues for the proposed lots. On-site and on-street parking opportunities are expected to meet all needs within the development.
Required Signage:	• New street signs will be required at all intersections at the developer's expense.
Fire Hydrants:	• Hydrant locations as proposed are appropriate according to the City Engineer.
Streetlights:	• Streetlights conforming to City specifications shall be installed at locations approved by the City Engineer.
Monuments:	• In accordance with Section 11-11-2; reference monuments shall be placed in the subdivision as required by state law.
ENVIRONMENTAL & OTHER NEIGHBORHOOD IMPACTS:	
Environmental Impacts:	• Staff does not foresee the need for an in-depth environmental analysis based on the current proposal (i.e. EAW, EIS, AUAR, etc.)
Wetlands:	• There is one delineated wetland located on the site. It is located

(Cont.) Rum River Management (RRM) District: Erosion Control:	primarily on Outlot B and on the western (river side) portion of the four proposed riparian lots. • The applicant has provided an adequate buffer between the wetland and any proposed development. • The entire 20.2 acres of the 2nd Addition of Rivers Edge is located within the urban area of the RRM. • Staff submitted the proposed plans to the DNR for review and comment. DNR staff found the development to be consistent with the requirements of the RRM district and therefore had no additional comment. • The minimum lot size for sewerred non-riparian lots in the RRM is 12,150 sq. ft., and the minimum lot size for sewerred riparian lots in the RRM is 20,000 sq. ft. Special setbacks and minimal requirements for lots within the urban area of the RRM are listed in Section 10-82-4(C). All proposed lots conform to these standards. • The maximum amount of impervious surface on a lot in the urban RRM is 30%. The developer is aware of this standard and the proposing lots conform to this requirement. • Future plans will be required to meet the provisions of 10-82-7 for landscape alterations within the RRM urban area. • The future development area to the north is located within the rural RRM district.  • The City Engineer has found that the applicant has proposed acceptable erosion control measures.
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Traffic:	The proposed project will not significantly increase traffic volumes beyond that which was already anticipated with the guided land use for the area. No traffic study is needed.
Floodplain:	- The western third of the site along the Rum River is located within the 100-year floodplain (elevation 899.3 feet). The floodplain extends eastward from the Rum River through a significant portion of Outlot B and the western portion of the four riparian lots. - Staff notes that any fill proposed within the floodplain must meet the City's Floodplain ordinance.
	
Steep Slopes:	- There are steep slopes (12% or greater) running north to south along the western portion of the site. - Any structure placed on a slope greater than 12% are required to be screened from view of the Rum River with natural vegetation. - Any necessary screening shall be shown on the landscape plan.
Other Permits:	All necessary permits must be provided to the City (MPCA, NPDES, MDH, DNR Appropriation, etc.).
CHARGES, FEES, & RESPONSIBILITIES:	
In General:	The applicant is responsible for all fees related to the review of this application (including but not limited to planning, legal, engineering, wetland, environmental consultants, or other such experts as required by this application).
Park Dedication:	- The City requires a 10% park dedication of land and/or cash-in-lieu for new residential developments. - In the 1st Addition of Rivers Edge, the applicant dedicated 2.64 acres of developable land to the City to be used as an active park. At the time of approval, it was determined that the developer would be required to pay \$948 per lot in addition to the land dedication to satisfy the park dedication requirement. So far, the applicant has

<i>(Cont.)</i>	paid the park dedication fee for 23 lots in the 1st Addition (\$21,804). • The applicant is proposing to dedicate 4.3 acres of land (Outlot B) to the City for the 2nd Addition to be used as a passive park. • The location of this passive park is consistent with the Comprehensive Plan which guides the area along the Rum River for a “small passive” park. • Most of the 4.3 acres proposed to be dedicated in the 2nd Addition is wetland. Typically, the City does not accept land for park dedication that is unbuildable, such as wetlands. Outlot B is also located within the floodplain. Per 11-08-9, the City is not required to accept land which would be unusable for parks and playgrounds or which would require extensive expenditures on the part of the public to make usable. • Staff has concerns about the usability of Outlot B as a passive park, due to the location of the floodplain, the location of wetlands throughout the entire outlot, and the expense of creating trails in these areas, and would recommend requiring cash-in-lieu to meet the park dedication requirement of the 2nd Addition instead of land dedication. • The decision of whether or not to accept the proposed land dedication affects the amount that the developer would be required to pay in park dedication fees. • The Planning Commission should discuss the proposed park dedication and whether or not they would recommend acceptance of the proposed land to be used as a passive park.
Water Charges:	• Future water access charges and/or individual hook up charges will be applicable at the time of Final Plan per City standards and policies.
Sewer Charges:	• Future sewer access charges and/or individual hook up charges will be applicable at the time of Final Plan per City standards and policies.

Rezoning	
In General:	Establishment of a PUD district includes a rezoning to depict the area in question as the “Rivers Edge PUD 2nd Addition” on the City’s official zoning map. Per section 10-75-2 of the Code, rezoning is only to be authorized under the following conditions: A. The plan is not in conflict with the Comprehensive Plan of the City. B. The plan is designed to form a desirable and unified development within its own boundaries. C. The proposed uses will not be detrimental to present and future land uses in the surrounding area. D. Any exceptions to the standard requirements of this chapter and the

Conditional Use Permit

<i>In General:</i>	According to City Code 10-82-5B, public roads within the RRM District are considered to be special uses, and a CUP is required for their construction. Per section 10-6-3, the granting of a PUD shall be judged based upon the following factors: A. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the Official City Comprehensive Plan. B. The proposed use is or will be compatible with the present and future land uses of the area. C. The proposed use conforms with all performance standards contained in this Ordinance. D. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity. E. Traffic generation by the proposed use is within capabilities of streets serving the property.
<i>Staff Recommendation:</i>	• Staff recommends approval of the CUP request, with the findings of fact and conditions listed below.

Conclusion	
	The applicant is seeking approval of the following requests: • PUD General Development Plan/Preliminary Plat • Rezoning to PUD • Drainage and utility easement vacation • CUP for the construction of public roads <u>Staff Recommendations:</u> • Approval of the future rezoning to a PUD. • Approval of the CUP for the construction of public roads subject to conditions listed on page 17. • Approval of the PUD Development Plan and preliminary plat subject to conditions listed on page 17-19. • Approval of the vacation of the drainage and utility easement.
<i>Commission Options:</i>	The Planning Commission has the following options: A) RECOMMEND APPROVAL B) RECOMMEND DENIAL C) TABLE THE APPLICATION and request additional information • Staff requests that the Planning Commission provide four separate recommendations, one for each of the requests. • The 60-day review period for this application has been extended through December 13, 2018 to give the City ample time for consideration of the requests. This deadline can be extended with the applicant's approval if needed.
<i>Suggested Findings of Fact:</i>	Rezoning 1. The plan conforms to the goals and objectives listed in the City's comprehensive plan. 2. The plan forms a desirable and unified development within its own boundaries. 3. The proposed residential uses will not be detrimental to present and future land uses in the surrounding area. 4. The proposed side yard setback of 7.5 feet is consistent with the setbacks allowed in the 1st Addition of Rivers Edge and provides more separation between buildings (15 feet) than required by Code (12 feet). 5. The plan will not create an excessive burden on parks, schools, streets, and other public facilities or utilities that are proposed to serve the PUD. 6. The PUD will not have an undue and adverse impact on the reasonable enjoyment of the adjoining properties.

(Cont.)	Conditional Use Permit 1. The proposed development is consistent with the City's comprehensive plan. 2. The proposed development is compatible with the present and future land uses of the area. 3. The proposed use conforms with all performance standards contained in this Ordinance. 4. The proposed streets can be accommodated with existing public services and will not overburden the City's service capacity. 5. The proposed streets will meet the needs of the traffic generated by the 2nd Addition of Rivers Edge. 6. The proposed streets meet the standards and criteria listed in MN Rules 6105.0200 for street design, construction, and maintenance in a wild and scenic district. 7. The proposed streets have been designed to City standards. Development Plan/Preliminary Plat 1. The proposed plans conform to the City's comprehensive plan. 2. The net density of the development meets the requirements for the Low Density Residential land use category. 3. The proposed plan forms a desirable and unified development within the property boundaries. 4. The proposed lot layout protects the wetlands on-site and the shoreline of the Rum River. 5. The proposed development creates various styles of lots to increase the life-cycle housing stock within the community. 6. Planned roadways include connections to adjacent developable land as required. 7. The planned residential land uses are consistent with the existing land use to the south and the long-term planned land uses to the northeast. 8. The property exceeds the PUD minimum of one (1) acre. 9. The proposed side yard setback of 7.5 feet is consistent with the setbacks allowed in the 1st Addition of Rivers Edge and provides more separation between buildings (15 feet) than required by Code (12 feet). 10. All other lots, blocks, setbacks, etc., are in conformance with underlying zoning requirements. 11. The proposed project will not significantly increase traffic volumes beyond that which was already anticipated with the guided and previously approved land use. 12. The plan will not create an excessive burden on parks, schools, streets, and other public facilities or utilities that are proposed to serve the development.
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(Cont.)	13. The PUD will not have an undue and adverse impact on the reasonable enjoyment of the adjoining properties. 14. The PUD will include an appropriate diversity of housing, building materials, colors, styles, etc. 15. On-site and on-street parking opportunities will meet all needs within the development. 16. The proposed uses will not be detrimental to present and future land uses in the surrounding area.
Recommended Conditions:	Conditional Use Permit 1. All items pertaining to public roads listed in the City Engineer's memo dated September 12, 2018 shall be addressed to the satisfaction of the City Engineer prior to approval of the CUP. 2. Applicant shall install a 5-foot sidewalk on at least one side of every street in the 2nd Addition of Rivers Edge as approved by the City Engineer. The sidewalks shall connect to existing sidewalks in the Rum River Bluffs development. 3. Effective erosion and sedimentation control programs shall be conducted during all clearing, construction, or reconstruction operations in order to prevent the degradation of the river and its adjacent lands. 4. Construct at times when local fish and wildlife are not spawning or nesting. 5. The applicant must adhere to applicable federal and state safety regulations with regard to new road construction or reconstruction of an existing road. 6. If possible, natural vegetation of value to fish or wildlife, and which does not pose a safety hazard, shall be allowed to grow in the roadside right-of-way. 7. Where vegetation has been removed, new vegetation consisting of native grasses, herbs, shrubs, and trees should be planted and maintained on the roadside right-of-way. 8. Chemical control of vegetation is discouraged. But where such methods are justified, chemicals used and the manner of their use must be in accordance with rules, regulations, and other requirements of all state and federal agencies with authority over their use. Development Plan/Preliminary Plat 1. All items required by the City Engineer in the memo dated September 12, 2018 shall be addressed to the satisfaction of the City Engineer prior to approval of the PUD Final Plan and rezoning. Rearrangement of pads, if necessary to address engineering issues, may be administratively permitted provided the

(Cont.)	new pad arrangement still meets minimum Code standards for area, width, etc. 2. A complete landscape plan shall be submitted to Staff for review prior to PUD Development Plan review by the City Council. This plan must conform to the provisions of 10-82-7 for landscape alterations within the Rum River Urban Management District. 3. The Final PUD plans shall contain provisions to assure the continued operation and maintenance of all open space and service facilities to a pre-determined reasonable standard. 4. Telephone, electric, and/or gas service lines are to be placed underground in accordance with the provisions of all applicable City ordinances. 5. All connections and laterals shall be designed to minimum City standards. 6. Future driveways should be located so as to preserve existing trees as much as possible. 7. Addresses for the individual homes should be posted at each driveway entrance. 8. All public utilities and facilities such as gas, electrical, sewer, and water supply systems in the floodplain district shall be flood-proofed in accordance with the building code or elevate to above the regulatory flood protection elevation. 9. New street signs will be required at all intersections at the developer's expense. 10. No entrance monuments are authorized for this development. 11. Street lights conforming to City specifications shall be installed at the locations approved by the City Engineer. 12. When future phases of the Rivers Edge development plan are proposed, the Commission and Council should review their proposed densities in accordance with those densities already approved in prior phases to ensure that the overall gross density within the Rivers Edge development is below 2.5 units per acre. 13. The applicant must identify and label the ordinary high water line and the floodplain on preliminary plans. 14. Applicant shall provide proof of ownership for the property. 15. Reference monuments shall be placed in the subdivision as required by state law. 16. All necessary permits (MPCA, NPDES, MDH, DNR appropriation, etc.) must be provided to the City before activity begins. 17. The applicant shall be responsible for all fees related to the review of this application (including but not limited to planning, legal, engineering, wetland, environmental consultants, or other such experts as require by this application). 18. Park dedication requirements for Phase II shall be resolved in accordance with City standards. 19. Future sewer access charges and/or individual hook up charges will
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<i>(Cont.)</i>	be applicable at the time of the Final Plan per City standards and policies. 20. Future water access charges and/or individual hook up charges will be applicable at the time of the Final Plan per City standards and policies. 21. Approval of the easement vacation shall be conditioned upon concurrent approval of the preliminary plat. 22. Final approval of the rezoning shall be conditioned upon the applicant successfully acquiring approval of Final Plans meeting all PUD Development Plan conditions of approval. 23. Other conditions identified during the review process by Staff, the Planning Commission, or the City Council.
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WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES THEY SHALL COORDINATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.
THE CONTRACTOR SHALL CONTACT Gopher State One Call AT 888-454-0033 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WELLS, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
TWIN CITY AREA: 888-454-0033
TOLL FREE 1-800-333-1154

RIVERS EDGE PHASE 2 ST FRANCIS, MN

PROJECT LOCATION



PROJECT DIRECTORY

OWNER
LAKETOWN HOMES, LLC
ATTORNEY: WELLSBROOK
1534 BEAUCHAMPEL BLVD
WACONIA, MN 55387
PH: 952.715.5254
EMAIL: DWELLSBROOK@LAKETOWNHOMES.COM

ENGINEER
CAMPION ENGINEERING SERVICES, INC.
ATTORNEY: CAMPION
1800 POWDER CREEK CENTER
MAPLE PLAIN, MN 55359
PH: 763.479.3173
EMAIL: MCAMPS@CAMPIONENGINE.COM

DESIGNER
BENCO ASSOCIATES
ATTORNEY: HILLS
1800 POWDER CREEK CENTER
MAPLE PLAIN, MN 55359
PH: 763.479.3183
EMAIL: HILLS@BENCO.COM

CONSULTANT
WELAND CONSULTANT
WELAND NATURAL RESOURCES, INC.
ATTORNEY: HILLS
1032 WEST SEVEN STREET
ST. PAUL, MN 55102
PH: 651.788.2441
EMAIL: KEN@WELANDRESOURCES.COM

- GOVERNING SPECIFICATIONS:**
1. THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" LATEST EDITION & SUPPLEMENTS
 2. CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD UTILITIES SPECIFICATIONS (LATEST EDITION)
 3. ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND ORDINANCE WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.
 4. CITY OF ST FRANCIS STANDARD SPECIFICATIONS & DETAILS.

INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS
3	OVERALL PRELIMINARY PLAN
4	PRELIMINARY PLAN
5	SANITARY SEWER & WATERMAIN PLAN
6	STREET & STORM SEWER PLAN
7	GRADE PLAN
8	STORM WATER POLLUTION PREVENTION PLAN
9	DETAILS
10	GRADES & SHOT/POLE NOTES

BENCHMARK
SE CORNER OF THE EAST 1/2
OF THE SW 1/4 OF SECTION 35
(SOUTH 1/2 CORNER OF SECTION 32)
TOWNSHIP 36, RANGE 24
EAST MON MOUNTAIN
BENCHMARK TOP OF MONUMENT
ELEVATION = 821.87 (NGVD 29)



CAMPION
ENGINEERING
SERVICES, INC.
* Civil/Structural/Environmental
1800 Powder Creek Center,
P.O. Box 244
Maple Plain, MN 55359
Phone: 763-479-3173
Fax: 763-479-3174
E-Mail: info@campion-engineering.com

I hereby certify that the plan, specification
or report has been prepared by me or
under my direct supervision and that
I am a duly Licensed Professional Engineer
under the laws of the State of Minnesota.
David P. Campbell - L.E. # 19953 Date:

RIVERS EDGE PHASE 2
LAKETOWN HOMES
ST FRANCIS, MN

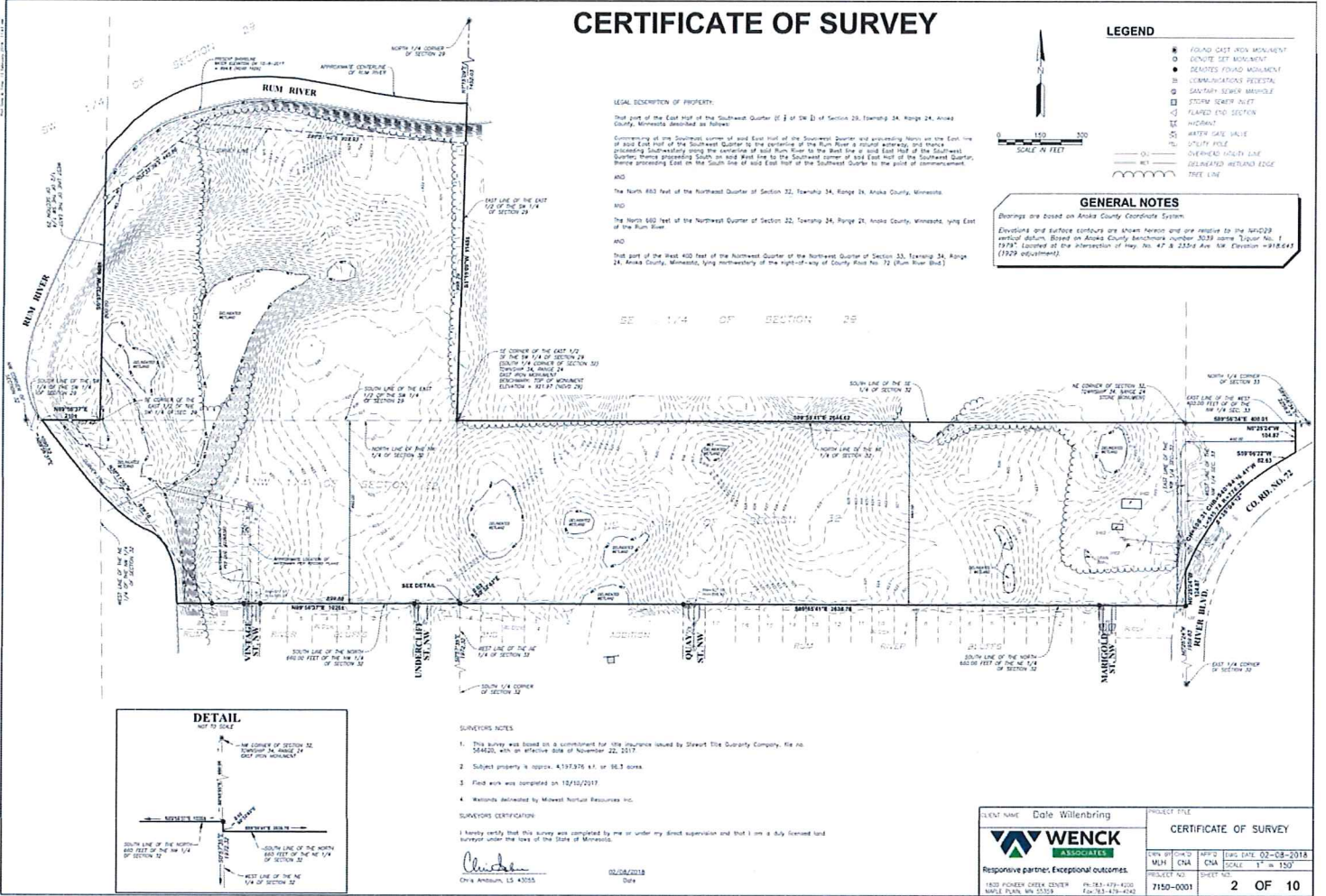
COVER SHEET

PROJECT NO.
18-030

SHEET NO. 1 OF 10 SHEETS

DATE
07/31/2018

CERTIFICATE OF SURVEY



LEGAL DESCRIPTION OF PROPERTY

That part of the East half of the Southwest Quarter (E 1/2 of SW 1/4) of Section 28, Township 34, Range 24, Anoka County, Minnesota described as follows:

Commencing at the Southwest corner of said East half of the Southwest Quarter and ascending North on the East line of said East half of the Southwest Quarter to the junction of the Run River a natural waterway, and thence proceeding Southwesterly along the centerline of said Run River to the West line of said East half of the Southwest Quarter, thence proceeding South on said West line to the Southwest corner of said East half of the Southwest Quarter, thence proceeding East on the South line of said East half of the Southwest Quarter to the point of commencement.

AND

The North 853 feet of the Northeast Quarter of Section 22, Township 34, Range 24, Anoka County, Minnesota.

AND

The North 660 feet of the Northeast Quarter of Section 22, Township 34, Range 24, Anoka County, Minnesota, lying East of the Run River.

AND

That part of the East 400 feet of the Northeast Quarter of the Northeast Quarter of Section 33, Township 34, Range 24, Anoka County, Minnesota, lying northwesterly of the right-of-way of County Road No. 72 (Run River Blvd.).

BE 1/4 OF SECTION 28

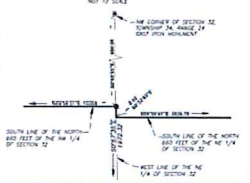
LEGEND

- FOUND CAST IRON MONUMENT
- CONCRETE SET MONUMENT
- DENOTED FOUND MONUMENT
- COMMUNICATIONS PEDESTAL
- SANITARY SEWER MANHOLE
- STORM SEWER INLET
- FLAGGED IRON SECTION
- HYDRANT
- WATER GATE VALVE
- UTILITY POLE
- OVERHEAD HEALTH LINE
- DELINEATED WETLAND EDGE
- TREE LINE

GENERAL NOTES

Boundaries are based on Anoka County Coordinate System.
Elevations and surface contours are shown herein and are relative to the 1988 vertical datum. Based on Anoka County benchmark number 3033, some Tiquon No. 1 1974. Located at the intersection of Hwy. No. 47 & 25th Ave. NW. Elevation = 818.643 (1929 adjustment).

DETAIL



SURVEYOR'S NOTES

1. This survey was based on a commitment for 10% assurance issued by Stewart Title Guaranty Company, file no. 544620, with an effective date of November 22, 2017.
2. Subject property is approx. 4,197.376 s.f. or 95.3 acres.
3. Field work was completed on 12/15/2017.
4. Wetlands delineated by Midwest Natural Resources Inc.

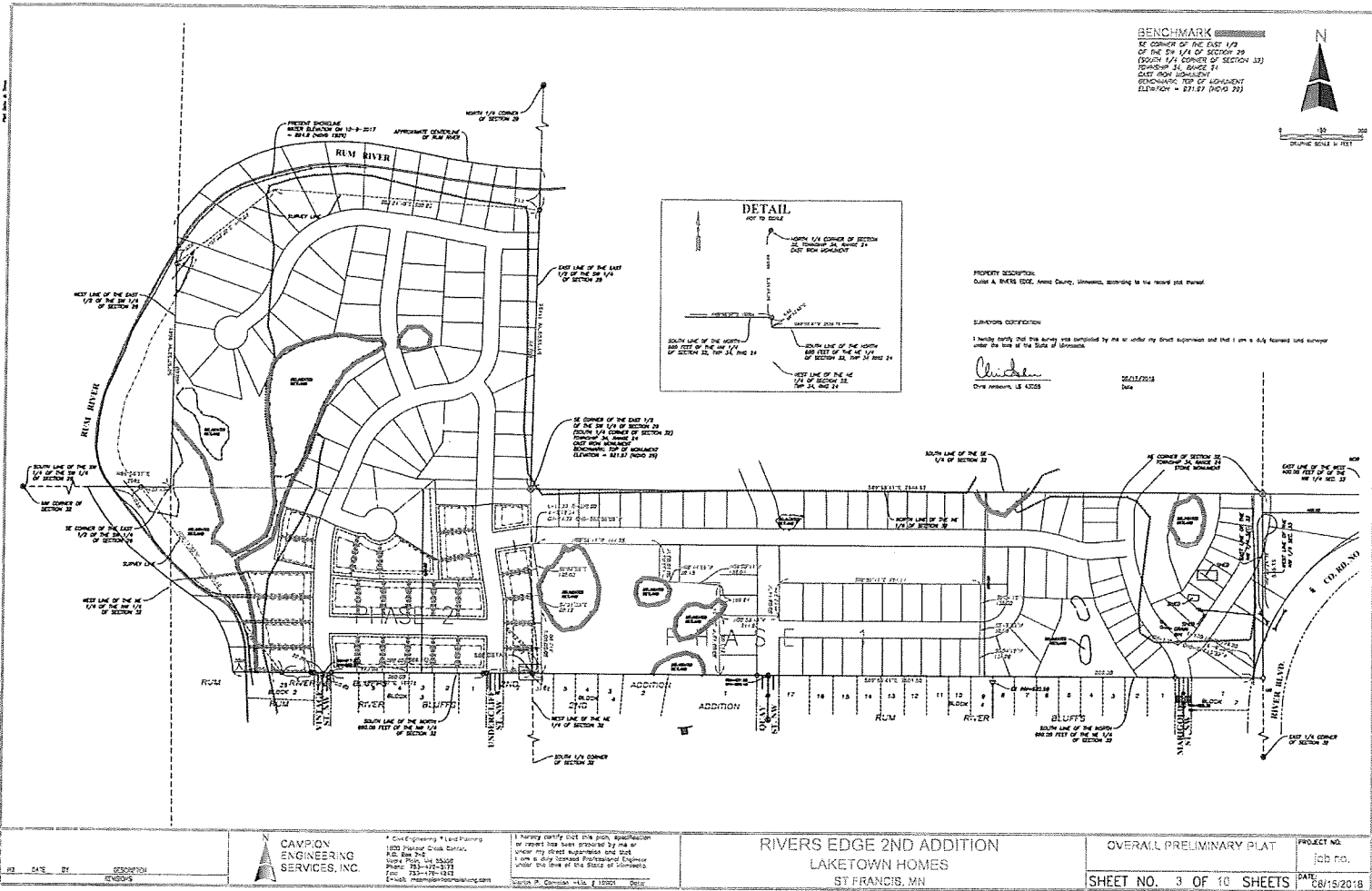
SURVEYOR'S CERTIFICATION

I hereby certify that this survey was completed by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Chris Anderson
Chris Anderson, L.S. 43555

05/24/2018
Date

CLIENT NAME: Dale Willenbring		PROJECT FILE:	
		CERTIFICATE OF SURVEY	
DATE OF SURVEY: 12/15/2017	DATE OF PLOTTING: 02-08-2018	SHEET NO. 2 OF 10	
PROJECT NO. 7150-0001	SCALE: 1" = 150'		



PRELIMINARY PLAT AREA		23.7 AC
ZONING		
EXISTING ZONING		
SLAM RIVER SCENIC		
PROPOSED ZONING		
SLAM RIVER SCENIC		
LOT DATA		
		LOT REQUIRED
		32 DISTRICT
AREA		10,000
AC/LOT		80
AC/LOT-LAT SETBACK FROM RIVER		
SETBACKS		
FRONT		30
STREET SIDE		20
	10 HOUSE, 5	
YEAR		30
WETLAND		30
RIVER OUTF		
* WETLANDS SET BACK SETBACK		
TOTAL UPLAND AREA		53.1 AC

[illegible]

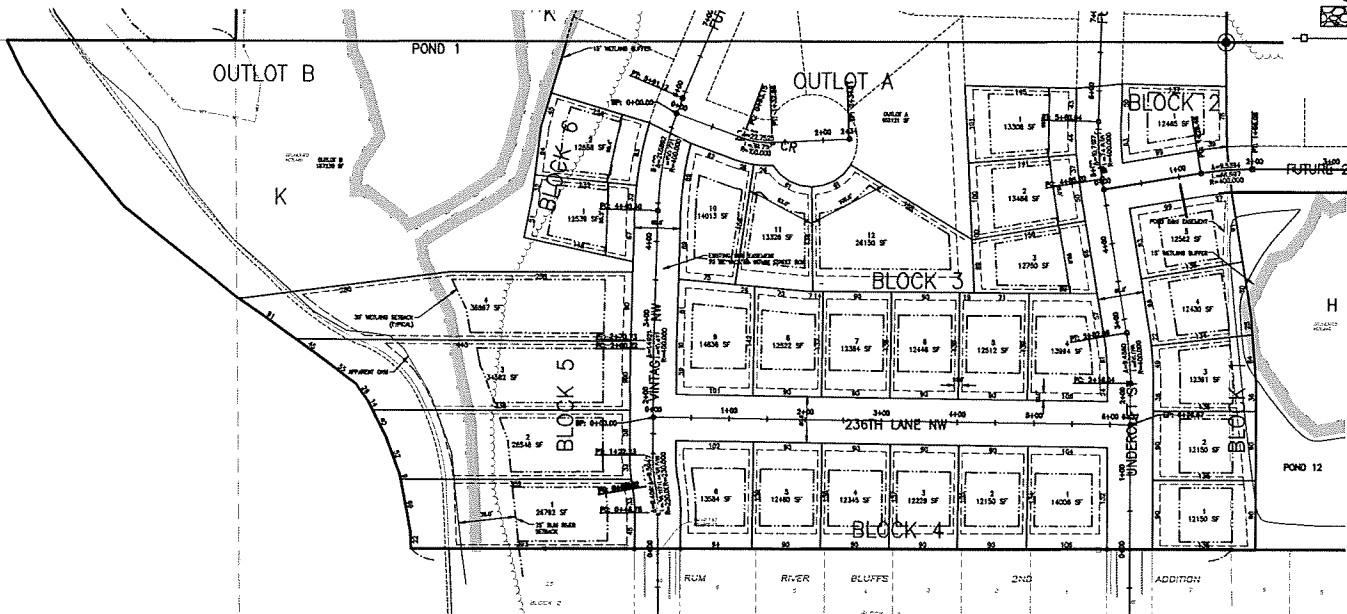
JOY COUNT	SINGLE		SINGLE
BLOCK	FAMILY	FAMILY	FAMILY (FUTURE)
1	3		
2	1	1	
3	12	4	
4	6		
5	4		
6	7	1	
7			
TOTAL	30	6	
JOYLIST A	2.37 AC	(FUTURE LOT)	
JOYLIST B	4.30 AC	(WETLAND & PARK)	
PRELIMINARY PLAT AREA		13.52 AC	
1.35 AC (TOTAL PLAT AREA) 3.78 AC (TOTAL LOT) 30.4 AC (FUTURE) 1.35 AC (JOYLIST A) 4.30 AC (JOYLIST B) 2.22 AC (TOTAL LOT) 13.52 AC			

BENCHMARK
SE CORNER OF THE EAST 1/2
OF THE SW 1/4 OF SECTION 28
(SOUTH 1/4 CORNER OF SECTION 32)
TOWNSHIP 34, RANGE 24
CAST IRON MONUMENT
BENCHMARK TOP OF MONUMENT
ELEVATION = 421.97 (NGVD 29)



LEGEND

	PROPERTY LINE
	DISTING. CONTOURS
	PROPOSED CONTOURS
	EXISTING LINE
	SETBACKS
	DELIMITED WETLAND EDGE
	STORM SEWER
	SANITARY SEWER
	INTERMAN
	FENCE
	OVERHEAD POWER LINE
	UNDERGROUND ELECTRIC
	CULVERT
	SOIL BORING
	SANITARY SEWER MANHOLE
	SANITARY CULVERT
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN
	WATER GATE VALVE
	HYDRAULIC
	EXISTING TREE LINE
	INLET PROTECTION
	ROCK CONSTRUCTION ENTRANCE
	SILT FENCE

[illegible]

**CAMPION
ENGINEERING
SERVICES, INC.**

• Civil Engineering • Land Planning
1800 Pioneer Creek Center,
P.O. Box 248
Maple Plain, MN 55358
Phone: 763-479-3172
Fax: 763-479-4242
E-Mail: mcconline@complan-eng.com

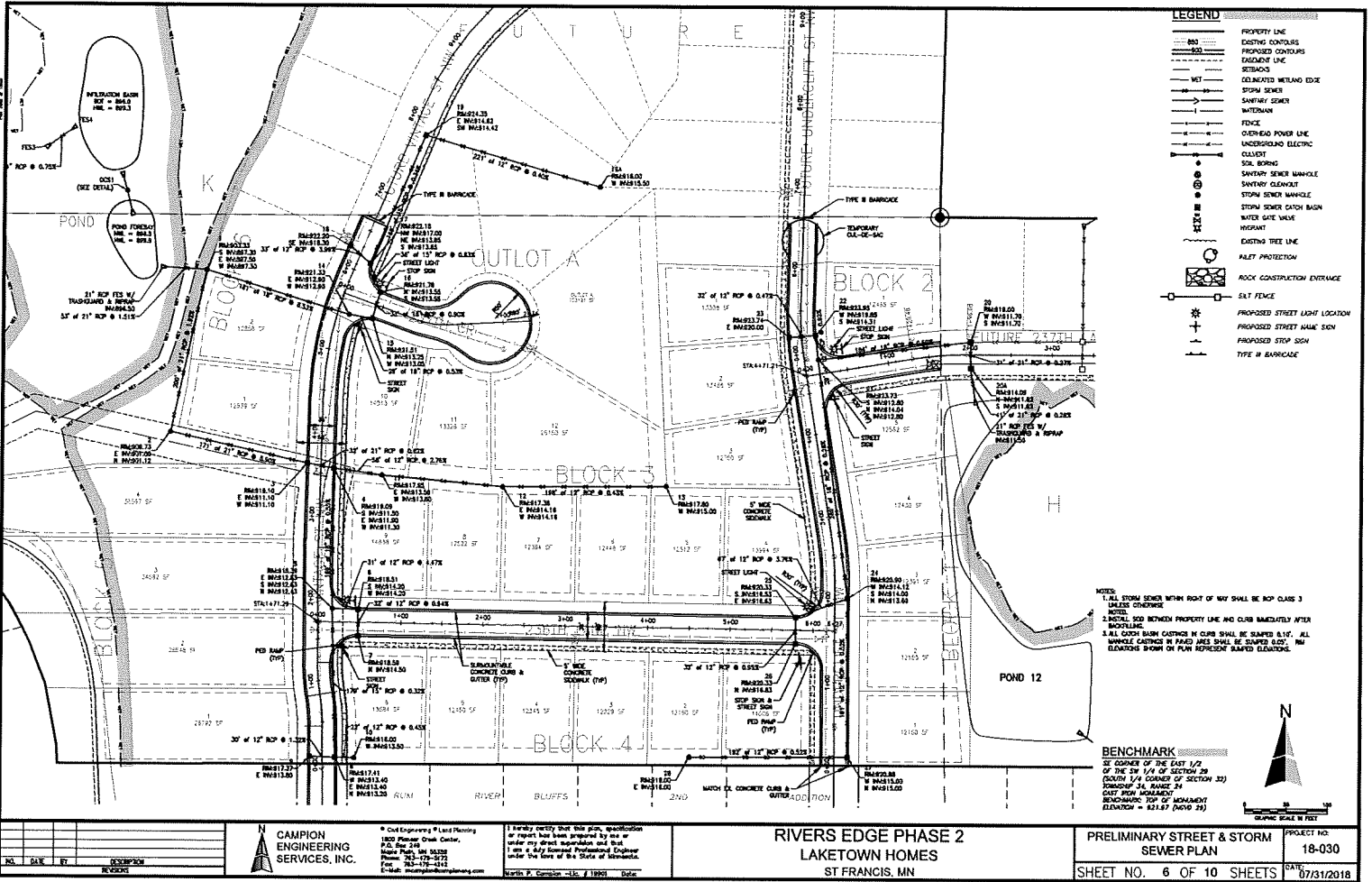
I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

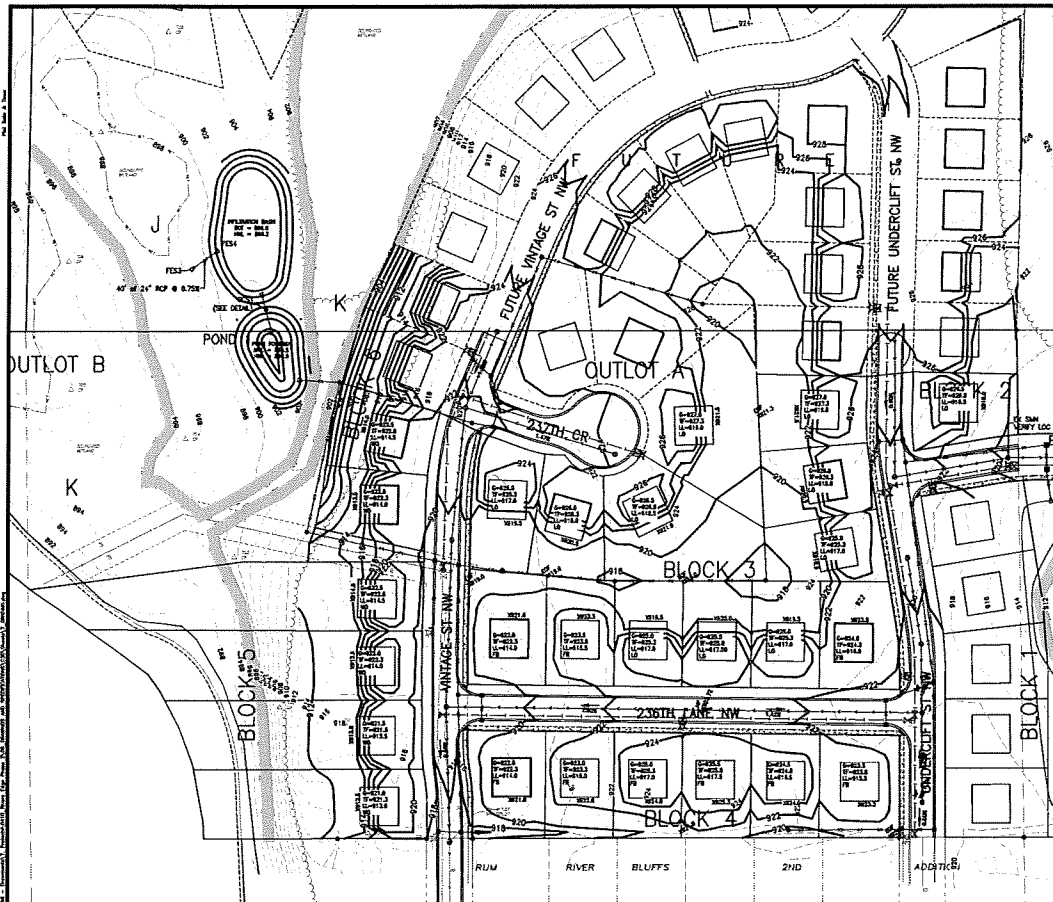
A.A.A.A. 100 MINNESOTA ENGINEERING BOARD

Marvin P. Cornsman - M.E. # 19908 Date: _____

**RIVERS EDGE 2ND ADDITION
LAKETOWN HOMES
ST FRANCIS, MN**

PRELIMINARY PLAT	PROJECT NO: job no.
SHEET NO. 4 OF 10 SHEETS	DATE: 07/31/2018





LEGEND	
FB	FULL BASEMENT
NO	NO LOT
LO	LOOKOUT
X	PROPOSED SPOT ELEVATION
2	2' X 2'2.5' DRAINAGE AREA
1	LOT NUMBER
100	HOUSEPAD
100	HOUSE TYPE

TYPICAL LOT & HOUSE PAD

LEGEND	
---	PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING LINE
---	SETBACK
---	DEGRADED SETTING EDGE
---	STORM SEWER
---	STORM SEWER
---	WATERMAIN
---	EDIC
---	OVERHEAD POWER LINE
---	UNDERGROUND ELECTRIC
---	VALVE
---	SOL. BOX
---	STORM SEWER MANHOLE
---	STORM SEWER CLEANOUT
---	STORM SEWER MANHOLE
---	STORM SEWER CATCH BASIN
---	WATER GATE VALVE
---	WATER
---	EXISTING TREE LINE
---	WATER PROTECTION
---	ROCK CONSTRUCTION ENTRANCE
---	SET FENCE

BENCHMARK
SE CORNER OF THE EAST 1/2
OF THE SW 1/4 OF SECTION 25
(SOUTH 1/4 CORNER OF SECTION 25)
TOWNSHIP 14, RANGE 14
EAST FROM MONUMENT
ELEVATION = 921.97 (NGVD 29)

SEE SHEET 10 FOR GRADING NOTES



NO.	DATE	DESCRIPTION
1		REVISION

**CAMPION
ENGINEERING
SERVICES, INC.**

* Civil Engineering * Land Planning
1900 Pioneer Creek Center
P.O. Box 214
Mankato, MN 56001
Phone: 781-779-5772
Fax: 781-779-5773
E-Mail: campion@campioneng.com

I hereby certify that this plan, specification
or report has been prepared by me or
under my direct supervision and that
I am a duly Licensed Professional Engineer
under the laws of the State of Minnesota.

Mark P. Campion - L.S. # 19901 Date:

**RIVERS EDGE PHASE 2
LAKETOWN HOMES
ST FRANCIS, MN**

PRELIMINARY GRADING PLAN

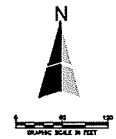
SHEET NO. 7 OF 10 SHEETS

PROJECT NO.

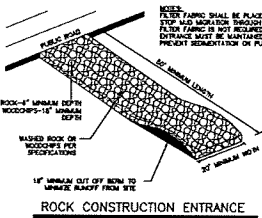
18-030

DATE

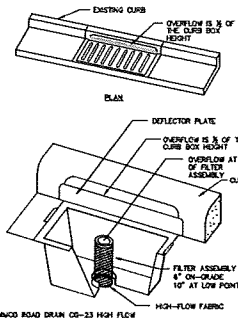
07/31/2018



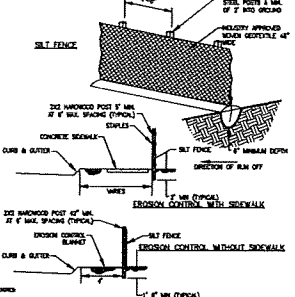
 CAMPION ENGINEERING SERVICES, INC.		Civil Engineering & Land Planning 1800 Pioneer Oaks Center, P.O. Box 200 Maple Park, MN 56350 Phone: 763-478-5272 Fax: 763-478-4242 E-Mail: campion@campion.com	I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.	RIVERS EDGE PHASE 2 LAKETOWN HOMES ST FRANCIS, MN	PRELIMINARY STORMWATER POLLUTION PREVENTION PLAN SHEET NO. 8 OF 10 SHEETS	PROJECT NO. 18-030 DATE 07/31/2018
NO.	DATE	DESCRIPTION REVISION	Mark P. Campion - Lic. # 19901 Date:			



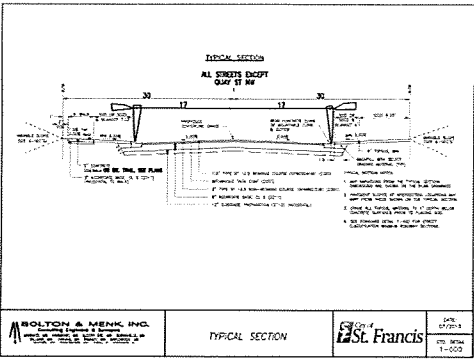
ROCK CONSTRUCTION ENTRANCE



INLET PROTECTION

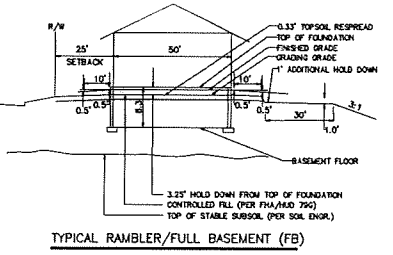


PREFABRICATED SILT FENCE

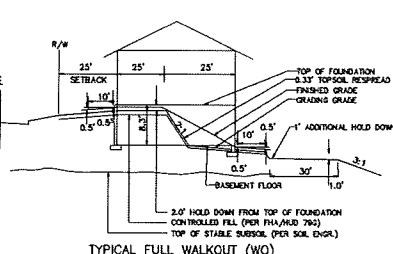


TYPICAL SECTION

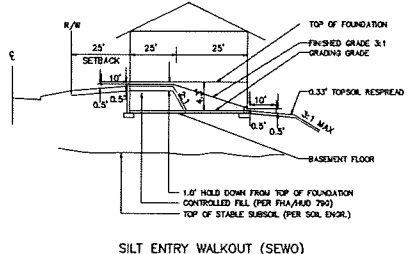
St. Francis
1-200



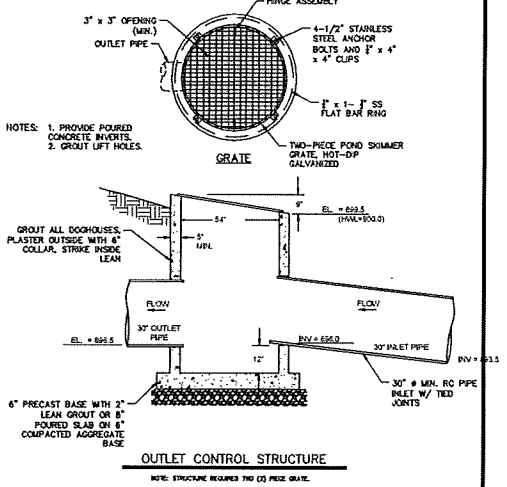
TYPICAL RAMBLER/FULL BASEMENT (FB)



TYPICAL FULL WALKOUT (WO)



SILT ENTRY WALKOUT (SEWO)



OUTLET CONTROL STRUCTURE

CALL 48 HOURS BEFORE DOING:
RIVERS EDGE ONE CALL
TOWN CITY AREA 651-454-0022
N.W. TEL. FREE 1-800-252-1148

GRADING NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GRADING CODES.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THE PROJECT.
3. THE CONTRACTOR MUST OBTAIN ALL NECESSARY UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY DEDICATION TO REDUCED EXIST FIELD LOCATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF ALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING GOMER STATE ONE CALL AT 800-252-1148 OR 651-454-0022.
4. THE CONTRACTOR SHALL MARK THE LOCATIONS OF EXISTING GATE VALVES AND MANHOLES WITH STEEL FENCE POSTS PRIOR TO BEGINNING GRADE.
5. SAFETY NOTICE TO CONSTRUCTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONSTRUCTION ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR ON NEAR THE CONSTRUCTION SITE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, TRAFFIC SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
7. THE CONTRACTOR SHALL RESPECT ALL OWNERS AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES PROHIBITED OUTSIDE THE CONSTRUCTION BOUNDARIES INCLUDE, BUT ARE NOT LIMITED TO: STOCKPILING SOILS AND OTHER MATERIAL, STORM DRAINAGE OR OTHER WORKING, BURNING VEHICLES, LEAKING OR SPILLING OF ANY LIQUID OR OTHER TOXIC MATERIALS.
8. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
9. PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A TEST WALL SHALL BE REQUIRED ON THE SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TEST WALL WITH A GRADE WEIGHT OF 25 TONS. THE TEST WALLING SHALL BE AT THE DISCRETION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS ARE UNSATISFACTORY CORRECTION OF THE SUBGRADE SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER AND AS SPECIFIED.
10. THE EXISTING TOPSOIL ON THE SITE UNLESS IN TOPSOIL IS THE CONTRACTOR'S RESPONSIBILITY THAT ALL SURFACE VEGETATION AND ANY TOPSOIL OR OTHER LOOSE, SOFT OR OTHERWISE UNDESIRABLE MATERIAL BE REMOVED FROM THE STREET, AND BUILDING AND AREA PRIOR TO PLACEMENT OF ANY DRAINAGE IN ACCORDANCE WITH THE SOILS REPORT AND RECOMMENDATION OF THE SOILS ENGINEER.
11. GROUNDWATER MATERIAL NOT PLACED IN THE STREET OR BUILDING PAD AREAS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE GROUNDWATER MATERIAL AS OUTLINED IN MAJORITY SHALL NOT BE AS DIRECTED BY THE SOILS ENGINEER.
12. EXCAVATION FOR THE PURPOSE OF REDUCING UNDESIRABLE OR UNSATISFACTORY SOIL SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. GROUNDWATER MATERIAL PLACED IN THE STREET SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFIED GROUNDWATER MATERIAL AS OUTLINED IN MAJORITY SHALL NOT BE AS DIRECTED BY THE SOILS ENGINEER.
13. THE STREET SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE OR 0.10 FOOT BELOW THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
14. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.50 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED BY THE ENGINEER.
15. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1.00 INCH OF THE SPECIFIED THICKNESS.
16. ALL DISTURBED UNPAVED AREAS ARE TO MAINTAINLY RECEIVE FOUR INCHES OF TOPSOIL, SEED AND MULCH AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
17. SPOT ELEVATIONS FROM HEREIN FINISHED GRADE ELEVATION UNLESS OTHERWISE NOTED.
18. PROPOSED CONTROLS ARE TO FINISHED SURFACE GRADE.

CAUTION NOTES

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

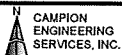
THE CONTRACTOR MUST OBTAIN ALL NECESSARY UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY DEDICATION TO REDUCED EXIST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF ALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING GOMER STATE ONE CALL AT 800-252-1148 OR 651-454-0022.

DESIGN/CONSTRUCTION CONTROL

1. ALL EROSION CONTROL AND SEDIMENT CONTROL SHALL COMPLY WITH MINNESOTA'S BEST MANAGEMENT PRACTICES MANUAL AND REGULATIONS OF THE CITY.
2. THE CONTRACTOR SHALL BE FAMILIAR WITH AND FOLLOW ALL REQUIREMENTS OF THE MPCA PHASE 1 PERMIT FOR CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO: WEEKLY EROSION CONTROL INSPECTIONS, INSPECTION AFTER 0.5" RAINFALL OF MORE AND RECOMMENDATION OF ALL CORRECTIVE MEASURES. BY BEGINNING CONSTRUCTION, THE CONTRACTOR ACKNOWLEDGES THE TERMS OF THIS PERMIT AND AGREES TO ABIDE BY THEM.
3. THE CONTRACTOR SHALL FURNISH ANY CORRECTIVE MEASURES ORDERED BY THE CITY OR THE MPCA WITHIN 24 HOURS OF NOTIFICATION. ALSO, ADDITIONAL EROSION CONTROL MEASURES DEEMED NECESSARY BY EITHER THE CITY OR THE MPCA SHALL BE INSTALLED WITHIN 24 HOURS OF NOTIFICATION.
4. ANY EXPOSURE OF SOIL OR MUD ON NEW OR EXISTING PAVEMENT, IN TEMPORARY SEDIMENTATION BASINS, OR IN EXISTING STORM SEWERS OR DRAINS SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED. REMOVAL FROM EXISTING PAVEMENTS SHALL BE ACCOMPLISHED BY SWEEPING.
5. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SEDIMENT INCLUDING BUT NOT LIMITED TO: ROOT EXPOSURES AND/OR SOIL FORCE CONTROL, SHALL COMPLY WITH GRADING AND CONTROLS THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SOIL. THE OWNER MAY, AT HIS/HER OPTION, DIRECT THE CONTRACTOR TO HIRE AN INDEPENDENT AS REQUIRED TO INSURE PROTECTION OF PROPERTY AND ADJACENTS.
6. ANY EXPOSURE OF SOIL IN DRAINS OR EXISTING STORM SEWERS SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER. ALL AT THE EXPENSE OF THE CONTRACTOR, THE SOIL FENCES SHALL BE REMOVED AND THE SOIL REMOVED FROM THE EXPOSURE AREAS BY THE CONTRACTOR AFTER THE TARP IS ESTABLISHED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH AND THE MONITORING REQUIREMENTS OF THE MPCA PERMIT.
8. ALL DISTURBED AREAS, EXCEPT ROADSIDE, BUILDING AREAS, AND SEDIMENT, SHALL BE RESTORED WITH A MINIMUM 4 INCHES TOPSOIL, SEEDING AND MULCHING TYPE 5. SEEDING SHALL BE IN ACCORDANCE WITH MPCA SPECIFICATION 257A. SEED MAY 22-111 # 40 LBS/ACRE (OR APPROXIMATE EQUAL). THE FERTILIZER BLENDED SHALL BE SEEDING WITH SEED MAY 22-111. DOWNHILL SEEDING AREAS SHALL BE SEEDING AND MULCHING IN ACCORDANCE WITH MPCA SPECIFICATIONS. STORM MULCHING QUANTITY SHALL BE TWO TONS PER ACRE. FERTILIZER (10-10-20) SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE (CAN BE OMITTED IN LANDSCAPED AREAS IF LANDSCAPED SEEDING IS DONE CONCOMITANTLY). SEED SHALL BE 25-115 APPLIED AT A RATE OF 110 LBS/ACRE SHALL BE USED FOR TEMPORARY SEEDING IF NEEDED.
9. CONSTRUCTION SHALL PROCEED IN THE FOLLOWING SEQUENCE:
 - a. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY.
 - b. INSTALL EROSION CONTROL MEASURES AND ROCK CONSTRUCTION DRAINAGE.
 - c. CONTACT CITY FOR APPROVAL OF EROSION CONTROL INSTALLATION.
 - d. MAINTAIN EROSION CONTROL MEASURES AND ROCK CONSTRUCTION DRAINAGE.
 - e. MAINTAIN ALL SEDIMENTATION FENCE COMPLETE SITE GRADING TOLERANCES.
10. SLOPE PROTECTION AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH SECTION THREE SLOPE PROTECTION, EROSION CONTROL AND STORM WATER POLLUTION PREVENTION PLAN OF THE PROJECT MANUAL.
11. ALL STORM SEWER EXITS AND PLUMED DRAIN SECTIONS SHALL BE PROTECTED BEFORE AND AFTER PAVEMENT CONSTRUCTION UNTIL ALL DISTURBED AREAS ARE STABILIZED. CONTRACTOR SHALL PLACE WHIPPY FENCING AND GRASS ONLY ALL EXISTING BARRIERS MUST BE REMOVED AND REPLACED WITH THE NEW CONSTRUCTION. THE CONSTRUCTION SHALL BE COMPLETED WITHIN 30 DAYS OF THE DATE OF THE PERMIT.
12. STORMWATER AREAS WHICH REMAIN ON THE SITE FOR MORE THAN 30 DAYS SHALL BE SEEDING, MULCHING, AND BARRIERS BY SOIL FENCE.
13. NO LOTS SHALL BE INSTALLED AT PIPE EXITS AND OUTLETS UNTIL REPAIR IS INSTALLED. PERMANENT EROSION EXPOSURES SHALL BE INSTALLED WITHIN 14 HOURS OF CONNECTION TO A SURFACE WATER.
14. EROSION AND SEDIMENT CONTROL MEASURES MUST REMAIN IN PLACE UNTIL THE SITE SOILS HAVE BEEN PERMANENTLY STABILIZED AND SHALL BE REMOVED WITHIN 30 DAYS OF COMPLETION.
15. ALL EXPOSURES OF SOIL OR OTHER MATERIALS SUBJECT TO EROSION BY WIND OR WATER SHALL BE COVERED, VEGETATED, OR OTHERWISE PROTECTED FROM EROSION BY WIND OR WATER.
16. LOCATION OF CONCRETE WAREHOUSE AND INDOOR MATERIAL STORAGE SHALL BE DETERMINED PRIOR TO START OF CONSTRUCTION. THE SWPPP WILL BE UPDATED AND LOCATIONS ADDED AT THAT TIME.
17. TEMPORARY OR PERMANENT STABILIZATION SHALL BE INSTALLED IMMEDIATELY TO LIMIT SOIL EROSION AND SHALL BE COMPLETED NOT LATER THAN 30 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. INSTALLED IMMEDIATELY MEANS DOING AN ACTION TO COMMENCE STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY FOLLOWING THE DAY WHEN THE LAST-CONSTRUCTING ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED. INSTALLED STABILIZATION IS DEFINED AS COMPLETING ONE (OR MORE) OF THE FOLLOWING: SOIL PREPARATION FOR VEGETATION, MULCHING (OR OTHER NON-VEGETATIVE BMP), SEEDING/PLANTING, OR SOMELAND STABILIZATION MEASURES TO BE FULLY INSTALLED AND COMPLETED WITHIN THE 7 DAY TIMEFRAME.
18. THE CONTRACTOR SHALL PROVIDE AND INSTALL A SWPPP MANUAL (REQUIRED).

EROSION CONTROL BLANKET REQUIREMENTS

1. TEMPORARY EROSION BLANKET SHALL BE BODENGRASS DOUBLE-WEAVE STORM (NORTH AMERICAN GREER 5150 OR APPROVED EQUAL) AND EROSION MATS SHALL HAVE A MINIMUM FUNCTIONAL LENGTH OF 10 METERS.
2. EROSION BLANKET PLACED ON SLOPES 3:1 OR GREATER SHALL BE ROLLED DOWN SLOPE AND WITH A MINIMUM LAY AND STAPLED AT 1' O.C.
3. CONSTRUCT A 6"x12" ANCHOR TRENCH 2' BEYOND CREST AND TOE OF SLOPE. STAPLE EROSION BLANKET IN TRENCH AT 1' O.C.



* Civil Engineering * Land Planning
1800 Riverchase Center
P.O. Box 218
Minnetonka, MN 55328
Phone: 763-779-5172
Fax: 763-779-5172
E-Mail: campion@campionengineering.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Martin P. Corbin - C.E. # 19801 Date:

**RIVERS EDGE PHASE 2
LAKETOWN HOMES
ST FRANCIS, MN**

GRADING & SWPPP NOTES

**PROJECT NO:
18-030**

SHEET NO. 10 OF 10 SHEETS

**DATE:
07/31/2018**



**ENGINEERING REVIEW
for City of St. Francis
by
Hakanson Anderson**

Review No. 1

Submitted to: City of St. Francis

cc: Joe Kohlmann, City Administrator
Paul Teicher, Public Works Director
Kate Thunstrom, Community Development Director
Beth Richmond, HKGI
Craig Jochum, City Engineer
Dale Willenbring, Laketown Homes
Marty Campion, Campion Engineering Services

Reviewed by: Shane Nelson, Assistant City Engineer

Date: September 12, 2018

Proposed Project: Rivers Edge - Phase 2 Preliminary Plat

Street Location: N 660 FT OF NE1/4 OF SEC 32 T34 R24, EX RD, SUBJ
TO EASE OF REC

Applicant: Laketown Homes

Owners of Record: St Francis Land Development LLC

Jurisdictional Agencies: City of St. Francis, MPCA, Anoka County, MDH
(but not limited to)

Permits Required: City Approval, NPDES Construction Permit, MPCA
(but not limited to) Sanitary Sewer Extension Permit, MDH Water
Extension, DNR Appropriation Permit

INFORMATION AVAILABLE

Rivers Edge Phase 2 Stormwater Management Plan, dated 7/31/18, prepared by Civil Methods, Inc.

Rivers Edge Phase 2 Plan Set, dated 7/31/2018, prepared by Campion Engineering Services, Inc.

Wetland Delineation Report for Rivers Edge, dated November 27, 2017, prepared by Minnesota Natural Resources

Minnesota Wetland Conservation Act Notice of Decision, dated 2/01/2018, for Boundary and Type confirmation

Subsurface Exploration and Geotechnical Engineering Analysis for the Rivers Edge Housing Development, dated March 14, 2005, prepared by STS Consultants

SITE ACCESS / VEHICULAR TRAFFIC

1. The proposed development will gain access from Vintage Street through the existing Rum River Bluffs Development which connects to Rum River Boulevard (CR 72). Improvements to Rum River Boulevard (CR 72) are required to be completed as development obligations for the Rum River Bluffs developments.
2. We understand that a temporary access to Rum River Boulevard (CR 72) has been approved by the Anoka County Highway Department at 236th Avenue in the location of the existing cul-de-sac. As agreed to with the first addition, this access shall serve as the main construction entrance to the site.
3. The street network generally appears adequate to provide access to the proposed new homes and provides connections to the existing development to the south, as well as future development to the north.
4. Due to the phasing to date of Rivers Edge, all of the vehicle traffic is directed to the new lots through the existing Rum River Bluffs development without a secondary emergency vehicle access. It is recommended that the next phase of Rivers Edge shall provide a street connection to Rivers Edge 1st Addition via 237th Lane and to CR 72 via 236th Avenue.

SEWER AND WATER UTILITIES

1. Sanitary sewer and water system connections are available at the south plat line. The proposed sanitary sewer and water system appear adequate to service the proposed new lots.
2. There is an existing 16" trunk watermain that traverses through the site. It is recommended that the 16" watermain is extended to the north to serve the future low density residential, medium density residential, and medium/high density residential development as guided in the 2040 comprehensive plan.

3. City standards require sanitary sewer manholes to be located on the centerline of the street. SMH7 is not located in the centerline of the roadway, please revise as necessary.
4. Clearly label the existing watermain, including sizes and material, on the preliminary utility plan.

GRADING AND EROSION CONTROL

1. Clearly depict the Rum River and the associated FEMA Regulatory Floodway 100-year Floodplain (Zone AE).
2. Clearly depict the FEMA 100-year flood elevations. It appears that a transect with a flood elevation of 900.0 is adjacent to the site. The proposed home elevations as depicted provide adequate separation from the FEMA 100-year flood elevation.
3. Access to storm structures and/or stormwater basins shall not cross wetland areas. It will be necessary to provide an access route on the north side of the large wetland complex.
4. The emergency overflow elevation between Block 5 and Block 6 west of Vintage Street shall be labeled on the plans.
5. The emergency overflow along Vintage Street for Lot 6 Block 4 and Lot 1 Block 5 shall be labeled on the plans.
6. All lowest openings are required to be 1.5 feet above the emergency overflow elevations (10-93-6.E.4). Please provide proposed lowest opening elevations and ensure the 1.5 foot separation is met.
7. Please label the proposed house elevations as per the approved Grading Plan for the adjacent lots in Rum River Bluffs 2nd Addition, abutting to the south of this proposed plat.
8. It does not appear that the proposed emergency overflow elevation provides 1.5' of separation from the lowest opening elevation in Rum River Bluffs Lot 2 Block 3. Per the approved Grading Plan, the lowest opening for Lot 2 Block 3 is 921.5, therefore the emergency overflow shall be 920 or lower.
9. A proposed spot elevation of 918.0 is depicted in the rear yard of Lot 1 Block 2. The preliminary grading plan proposes a look out house type for this lot with a lowest level elevation of 918.5, therefore it appears that the spot elevation is incorrect. Please correct.
10. There is a ponding area east of Lot 1 Block 2. Please label the emergency overflow of the ponding area.

STORMWATER

1. All stormwater facilities shall be designed in accordance with Chapter 10, Section 93 of the City Code, the City of St Francis Private Development Standards, and the MPCA stormwater manual requirements – which require 3' of separation from the seasonal high ground water level to the bottom of the proposed infiltration practice. The proposed infiltration basin is located in close proximity to soil boring 24, which indicated groundwater was at an elevation of 897.7 at the time of drilling in February. The proposed design does not provide for the 3' of separation as required and shall be revised.

2. The impervious area listed in the Stormwater Management Plan narrative is 15.6 acres. 4.984 acres is used elsewhere in the report. The report shall be corrected to be consistent.

PRELIMINARY PLAT

1. As per Sewer and Water Utilities comment 3 above, sanitary sewer manholes are required to be located on the street centerline. Revise street and lot arrangement as necessary to allow for SMH7 to be located on street centerline.
2. The preliminary plat shall be revised to include the locations of the existing houses on Lot 25, Block 2 and Lot 7, Block 4, Rum River Bluffs 2nd Addition.
3. The preliminary plat shall be revised to label bearing and distance of the exterior boundary lines of the plat.
4. The preliminary plat shall be revised to dimension easements.
5. The preliminary plat shall be revised to depict the existing watermain easement.
6. The proposed preliminary plat is within two zoning districts. The preliminary plat shall be revised to clearly depict which lots are R2 zoning, and which lots are Rum River Scenic zoning.
7. All wetlands, stormwater basins, storm sewer pipe, and floodplains shall be within a drainage and utility easement. The preliminary plat shall be revised to depict proposed drainage and utility easements over these features.

SUMMARY AND/OR RECOMMENDATION

We recommend approval subject to the conditions as listed herein. The Preliminary Plat and Preliminary Plans shall be revised and resubmitted for final review/approval.

Beth Richmond

From: Dwight Wirz <dwright.wirz@gmail.com>
Sent: Monday, October 8, 2018 12:28 PM
To: Beth Richmond
Subject: Preliminary Plat for St Francis Land Development, LLC (Dale Willenbring) Rivers Edge Phase 2

Beth Richmond
City Planner

I am the managing partner of SBD Properties, LLP which owns Parcel 29-34-24-33-0001 and four other parcels of land near the River's Edge Projects.

I met you and Dale Willenbring after the September 19th meeting which was continued to an October meeting. Without the overhead projection, it was difficult for me to see where this Phase 2 project ends on the north and how it relates to our parcel. I think it actually joins the Siwek property to be developed in the future, but since it is on the riverfront, and there was discussion about possible parklands and trails in phase 2, I think it is import that you look at the longer term possibilities now.

As I mentioned on the 19th, we would be interested in selling the part of the property on the east side of the river if it made sense for the overall development plan. If the present developer is not interested, then we would want to be sure that we are provided proper ingress and egress to our property. Please notify me of the next meeting and consider this e mail as my request for being heard on the subject if it is not addressed in the preliminary plat. Thank you.

Dwight Wirz
SBD Properties, LLP
8985 Rosewood Lane N.
Maple Grove, MN 55369
dwright.wirz@gmail.com
Phone 763.458.8675 Fax 763.420.6213