



ST. FRANCIS PLANNING COMMISSION

**ISD #15 DISTRICT OFFICE BUILDING
4115 AMBASSADOR BLVD.
APRIL 20, 2016**

7:00 PM

AGENDA

1. Call to Order/Pledge of Allegiance
2. Roll Call
3. Adopt Agenda April 20, 2016
4. Election of Officers for 2016
5. Approve Minutes October 21, 2015
6. Public Comment
7. Public Hearing: Rum River Terrace PUD Amendment
8. Planning Commission Discussion
9. Adjournment

There may be a quorum of St. Francis Council Members present at this meeting.

**CITY OF ST. FRANCIS
ST. FRANCIS, MN
PLANNING COMMISSION MINUTES
October 21, 2015**

1. **Call to Order:** The Planning Commission meeting was called to order at 7:00 pm by Chairman Steinke.
2. **Roll Call:** Present were Ray Steinke, Brittney Berndt, Todd Gardner, Joel Olson, and William Murray.
3. **Adopt Agenda:** Motion by Olson, second by Berndt to approve the agenda. Motion carried 5-0.
4. **Approve Minutes:** Motion by Olson, second by Berndt to approve the September 16, 2015 minutes. Motion carried 5-0.
5. **Public Comment:** None
6. **Public Hearing – PUD Amendment – Able Companies – 29XX 229th**
Able Companies, Inc. has submitted an application for a planned unit development amendment and building and site plan review for a transitional care and assisted living facility. The property is located at an unaddressed parcel on the north side of 229th Avenue NW in what would be the 2900 block. The site is between the golf course clubhouse and the American Legion. The applicant seeks to build a three story facility with up to 40 assisted living, 34 memory care, and 15 transitional care units.

In the Comprehensive Plan, the site is guided for a commercial land use. The subject site is zoned PUD, Planned Unit Development. In 2002, the City approved a plat for this property that was part of a planned unit development for a mixed use development surrounding the golf course. This plan identified this parcel as being for a commercial use that would defer to the B-2, General Business District standards. Within the B-2 District hospitals and nursing homes are an allowed use, the facility is proposed to be a similar use. The access to the site is shared with the Golf Course Clubhouse.

The building is proposed to be 41 feet tall as part of the PUD.

Steinke opened the public hearing at 7:10.

Todd Ofsthun from TCO Design represented the applicant. He said the project would complement the golf course well. It would create about 50 jobs. There are two entries into the building. One is for the assisted living and the other is for the transitional care. The transitional care facility could host patients for dialysis, pre-operation, post-operation, and telemedicine.

Steinke closed the public hearing at 7:14.

Steinke noted that the access could interfere with the parking lot and pointed out that the City Engineer requested a revision.

Berndt asked how many people were on a shift. Ofsthun said 30 per shift at the most. Usually it would be 26 mid-day and 16 at night.

Berndt asked if the residents would have cars. Ofsthun said no.

Skordahl asked if there'd be a van on site for trips. Ofsthun said possibly in front.

Skordahl asked about sidewalks. Ofsthun said there'd be a walkway around the building.

Berndt asked if the lights would be on at night in the parking lot. Jeff Ellerd project engineer from Wenck said the lights would be downcast as required by code.

Motion by Olson, second by Berndt to recommend approval of the PUD Amendment and Site Plan with the conditions noted in the Staff report. Motion carried 5-0.

7. **Adjournment:** Motion by Berndt, second by Gardner to adjourn. Motion carried 5-0. Meeting adjourned at 7:45 pm.

Nate Sparks, City Planner

Date



NORTHWEST ASSOCIATED CONSULTANTS, INC.

4150 Olson Memorial Highway, Ste. 320, Golden Valley, MN 55422
Telephone: 763.957.1100 Website: www.nacplanning.com

PLANNING REPORT

TO: St. Francis Planning Commission
FROM: Nate Sparks
DATE: April 15, 2016
RE: PUD Amendment & Minor Subdivision – Rum River Terrace

BACKGROUND

N-P Property and Pentagon Holdings have made an application for a Planned Unit Development Amendment for certain lots within the Rum River Terrace development. The purpose of the amendment is to convert twinhome lots to detached townhome style single family units. The amendment is only for Lots 3-18, 21-30 of Block 3 and Lots 1-6 of Block 4, which is the portion of the development intended for twinhomes that is currently not built. The amendment includes adjustments of lot lines to accommodate the single family houses.

CURRENT PLANNED UNIT DEVELOPMENT

The PUD for Rum River Terrace was approved in 2004. The development was intended to be a mix of twinhomes and detached townhomes that totaled 70 lots. 56 of the 70 lots were to be twinhomes. Of these, the 24 northerly lots have been built. There are 32 twinhome lots that are still unbuilt.

There are 13 detached townhome lots on a private road on the eastern portion of the development. These lots are generally 50 feet wide with a minimum lot size of 6,750 square feet.

APPLICANT'S PROPOSAL

The applicant is proposing to convert the remaining 32 twinhome unit lots into single family lots. Each twinhome unit lot has a width of about 50 feet (100 feet total per building). The applicant would like to convert the unit lot into a lot similar to that for the detached townhomes.

Lot Sizes

The result would be 50 foot wide lots with a size range from 6,750 square feet to around 15,000 square feet. Most lots would be about 7,000 or 8,000 square feet in size. One lot is less than 50 feet wide due to a large stormwater easement in the front of the lot.

By comparison, the standards for single family lots in the R-2 District are 80 feet in width and 10,800 square feet in area. Twinhomes are required to be 100 feet in width and 14,000 square feet in area.

Minor Subdivision

As part of this conversion, the applicant is proposing a minor subdivision to rearrange lot lines. In Block 3, the applicant proposes to shift the lot lines between Lots 22 through 24 in order to make Lot

24 larger. Currently Lot 24 is only about 6,100 square feet in size. This rearrangement would make all three lots over 8,000 square feet. In Block 4, Lots 1 through 4 are proposed to have rearranged lot lines. Instead of four lots in this area, there are to be three.

Grading / Drainage

Some drainage ponds are being altered. Comments from the City Engineer are attached. The applicant is required to meet current stormwater management standards, as part of the project. The impervious surfaces are to remain generally the same as the original PUD. Generally, with some minor modifications the drainage plan appears to be acceptable.

Lot 3, Block 4 was required in the original PUD to have gutters installed and directed towards the street. This requirement will be carried forward.

As noted above, impervious surfaces are intended to be about the same as the original plan. With the previous PUD, the twinhome lots were required to develop as a common interest community which would have private covenants and an association. With the single family style of housing and a public road, there is no proposed association for these lots. Therefore, an impervious surface cap may be advisable to ensure the stormwater management is adequate. For the smaller lots, the driveway and house constitute slightly under 40% of the lot. Therefore, with parking pads and slightly larger homes possible, a cap of about 50% may be appropriate.

Easements

The twinhome plat had drainage and utility easements on the unshared lot lines. The applicant is proposing to vacate the easements in areas where lot lines are being rearranged or ponds shifting. Easements are proposed to be dedicated in areas where lot lines were shared.

The two house pads on Lots 5 and 6 of Block 4 are depicted to encroach slightly within the drainage and utility easement on the plan. This should be corrected. Due to the limited building area on these lots, the applicant should revise the plan to show houses that fit on the lots with corresponding architectural plans.

Setbacks

On the lots within the amendment area, the applicant is seeking flexibility for the side yard setbacks. In the current PUD, the setbacks are 10 feet on the house side and 5 for the garage. The applicant would like 5 feet to each side. The applicant is seeking this flexibility to allow for a wide variety of housing styles on the lots. The front yard setback is proposed at 35 feet to match the other twinhome lots. The existing detached townhomes have a 25 foot setback to the private roadway.

Architecture

On the plans, the applicant depicts building pads of about 40 feet in width, 35 feet in depth, and a 20 foot deep garage in the front. House plans were provided for four houses that are similar to the detached townhomes in the existing plan with some variations.

The plans provided include houses that are 30 feet wide with a two car garage, 30 feet wide with a 3 car garage, two 40 feet wide with a 2 car garage, and one slightly wider than 40 feet with a two car garage. These house style will be referenced by any PUD approval and houses will need to be

generally compatible with these types. No flexibility to the minimum standards for houses are being sought.

The houses proposed are a mix of split entry and split entry walkouts.

Garages

When the PUD was originally approved, the minimum garage size was simply stated as a two-car garage. Since that time the City has enacted an ordinance stating the minimum garage size for a single family dwelling unit shall be 440 square feet. The applicant is proposing to use a minimum garage size of 400 feet (20' x 20') which was used as the minimum in the existing PUD. The applicant states that while this is the minimum size intended that most garages will be larger as that is the preference for most home buyers.

Transportation & Utilities

The roads and utilities are already installed in this area. The City Engineer's comments regarding utilities are attached.

The plan does have numerous driveways in close proximity accessing a public road. This may cause issues for snow storage and for general Public Works operations. However, the existing development plan was similar in nature.

Landscaping

The minimum standards for landscaping for single family homes will be required.

Park Dedication

Park dedication was paid at the time of the plat in 2004.

River District

This PUD is within the River District with additional standards required including open space dedication. The proposed amendments do not impact the required dedications for this purpose. The DNR has reviewed this plan and had no comments.

ANALYSIS

The applicant states that twinhomes are not as popular of a housing type in the current market. The detached townhome style single family houses have been more popular. The applicant's interest is in getting the development filled and completed. These twinhome lots have been sitting with limited interest since 2004.

The proposed single family residences are on lots that are quite a bit smaller than is typically allowed in the City. The City requires single family lots to be 80 feet wide and 10,800 square feet. This allows for room for expansion and continued reinvestment. There are detached townhomes on lots within the development on similarly sized parcels. This was deemed acceptable largely due to it being association housing which helps ensure proper maintenance. In this situation, the units will be general small lot single family.

While there may be concerns regarding general small lot single family this may be a decent alternative to the twinhome style of development. The total density is going down by one unit and all

other impacts appear to be generally similar in nature to what is approved. The area to the west and south is single family in nature and this type of housing could be considered as a transition to the existing twinhome units to the north.

PLANNING COMMISSION REVIEW

The Planning Commission should consider the amendment to the PUD and review against the PUD purpose statements found in Section 10 of the Zoning Ordinance:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and sighting of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects and landscape architects.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as existing vegetation, natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly transition of land from activity to another.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lowering development costs and public investments.
- G. A development pattern in harmony with the objectives of the Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principals.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.
- I. That the flexibilities granted through the PUD process for the development produce a clear and identified benefit to the City that would not have been achievable following the standard zoning procedure.

RECOMMENDED ACTION

Generally, the proposal appears to be consistent with the Comprehensive Plan and the intent of the PUD Ordinance. The proposal would convert the twinhomes into single family houses but maintain a similar density and character of the neighborhood. The flexibilities sought are intended to maintain consistency with the existing neighborhood while allowing for the new housing type. The proposal improves stormwater management and does not negatively impact any of the standards required by the DNR. While it may be ideal to have the lots converted into larger single family parcels, a denial of the request would only keep the lots as twinhome parcels. A preponderance of the lots within the area are single family in nature and this PUD amendment keeps the spirit of the original PUD with additional density while being more within the character of the established neighborhood. If the Planning Commission concurs with this assessment, it would be advisable to formulate a

recommendation of approval of the PUD Amendment and Minor Subdivision with the following conditions:

1. The flexibilities granted and general standards for this PUD are to be as follows:
 - Single family minimum lot width and sizes as depicted on the proposed plan.
 - Minimum garage size of 400 square feet.
 - Side yard setbacks of 5 feet.
 - Front and rear yard setbacks of 35 feet.
 - Impervious surfaces shall not exceed 50% per lot.
 - All other standards, including landscaping, shall adhere to the requirements for single family homes in the R-2 District.
 - Other relevant requirements of the original PUD shall be adhered to.
2. All comments from the City Engineer, City Attorney, and other relevant agencies shall be addressed.
3. The house pads on Lots 5 and 6 of Block 4 shall be moved out of the easement. House types that fit the pads for these lots shall be supplied for review by City Staff.
4. Revised easements shall be provided by the applicant and recorded prior to the issuance of any building permits.
5. Houses constructed within the development shall be similar in nature to the plans submitted by the applicant as part of this review.
6. Rain gutters shall be directed towards the road for Lots 3 & 4 of Block 4, as required in the original PUD.
7. The applicant shall enter into a PUD Agreement as drafted by the City Attorney.
8. Any other conditions by the Planning Commission shall be adhered to.

Attached:

Engineer's Comments

Aerial Photo

Original PUD Plan

Proposed Housing Types

Proposed PUD Plan Set



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Consulting Engineers & Surveyors

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April 13, 2016

Nate Sparks, Consultant Planner
NAC
4800 Olson Memorial Highway, Ste 202
Golden Valley, MN 55422-5169

RE: Rum River Terrace PUD Amendment
City of St. Francis, Minnesota
Project No.: R18.111672

Dear Nate,

I have reviewed the Stormwater Management Plan submitted for the above referenced project dated March 15, 2016 and the construction plans consisting of 5 sheets dated March 15, 2016 and have the following comments:

1. The Stormwater Management Plan and corresponding model should be updated to include Atlas 14 rainfall depths of 2.84 inches, 4.22 inches, and 6.91 inches for the two-year, 10 year, and 100 year events respectively.
2. The submitted report indicates that several of the existing storm water basins are proposed to be modified however it does not indicate which basins specifically. The applicant shall submit calculations indicating the required additional storage volumes for each of the basins and clearly identify them.
3. The applicant shall provide a summary of the existing condition flowrates and volumes compared to the proposed conditions.
4. MPCA Stormwater Permit Number C00012052 is shown as active on the MPCA website. The Storm Water Pollution Prevention Plan responsibility shall be transferred to individual property owners upon construction.
5. The applicant shall indicate how sanitary sewer and water service is proposed to be provided to Lot 10 Blk 3. Currently, no services are shown in the construction documents.
6. It should be noted that steep, deep swales are being proposed between the proposed lots within Block 3.
7. Note number 8 on Sheet 4 of 5 should be modified to note Upper Rum River Watershed Management Organization (URRWMO) rather than LRRWMO.
8. The structures proposed on Lots 4 and 5 Block 4 shall be relocated outside of the drainage and utility easement.
9. The applicant shall review the proposed lowest floor elevations of Lots 9 and 10 Block 3 with respect to the EOF and 100-year elevations.
10. All ponds shall be contained within drainage and utility easements.



Sparks, Rum River Terrace

April 13, 2016

Page 2

I recommend that the applicant submit the above requested information for additional review.
If you have any questions on the above, please call.

Sincerely,

BOLTON & MENK, INC.

A handwritten signature in blue ink, appearing to read "J. Voge", is written over the printed name of the signatory.

Jared Voge, P.E.

City Engineer

JAV/kg



ANOKA
COUNTY

Rum River Terrace

Aerial Photo

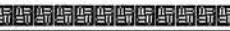


Aerial Photo: Flown Spring of 2014





MELCHERT WALKKY
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
LAND SURVEYING
800 WASHINGTON AVENUE N. #675
MINNEAPOLIS, MINNESOTA 55401
PHONE (612) 455-2396
FAX (612) 455-2160



REVISIONS:	
DATE	
02-09-04	PER CITY COMMENTS
03-03-04	RESUBMITTAL
03-22-04	PER CITY COMMENTS
04-14-04	PER ENGINEER COMMENTS
05-05-04	CONSTRUCTION DOCUMENTS
05-07-04	CONSTRUCTION DOCUMENTS
05-26-04	PER CITY COMMENTS
06-09-04	PER CITY COMMENTS
06-16-04	FOR APPROVAL
02-05-07	AS BUILT

RUM RIVER TERRACE

ST. FRANCIS, MN

GRADING PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.

20394
Reg. Number Name

Date 12-17-03
Project Number 23049
Drawn By VMA Checked By JMW

AS-BUILT

KEY PLAN

C4.1

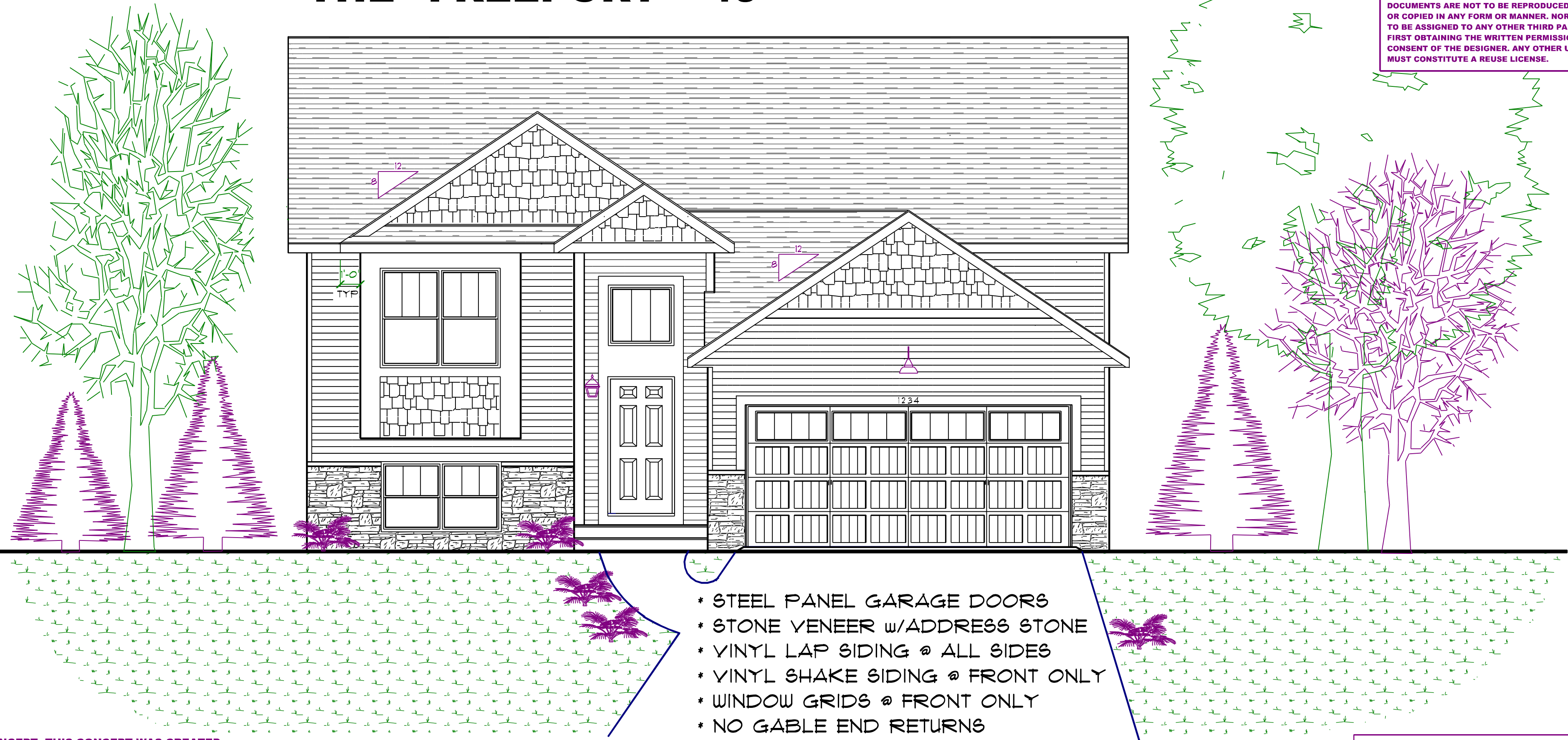
SHEET

477



THE "FREEPORT" 40' (ELEVATION A)

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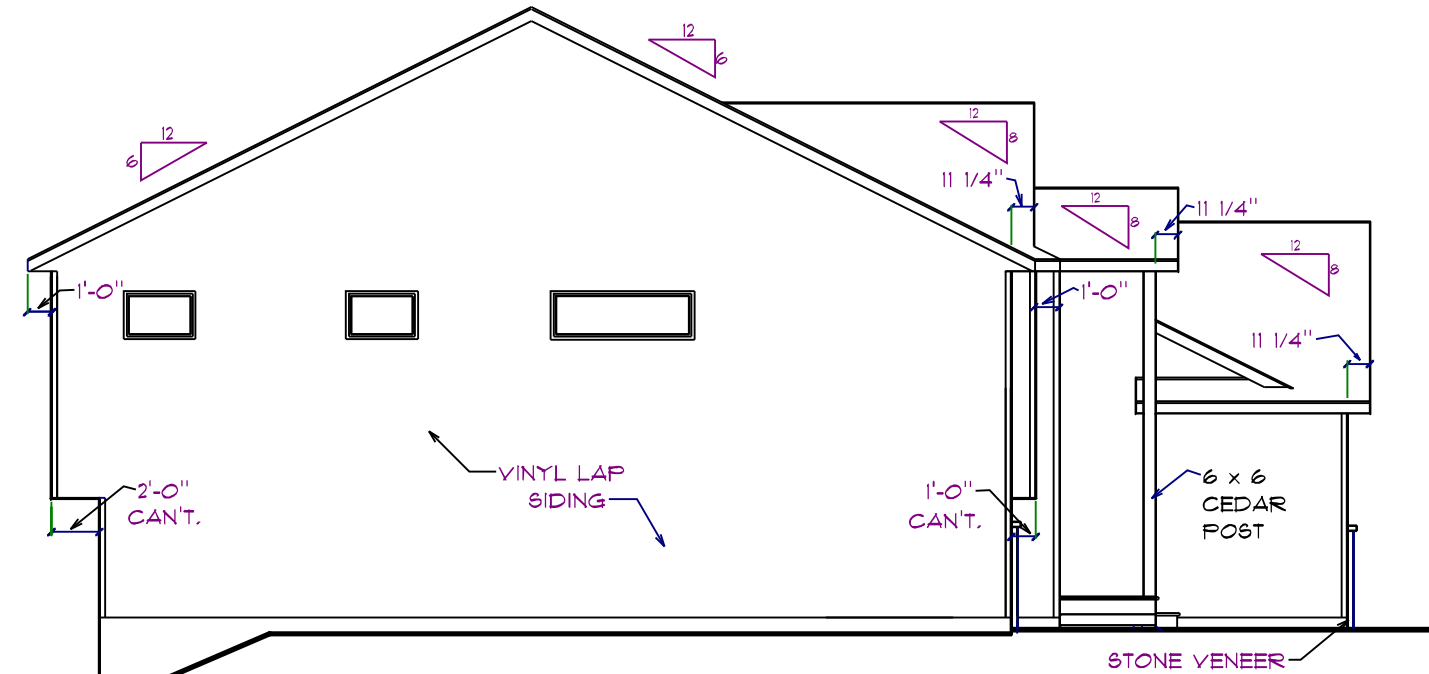
- * STEEL PANEL GARAGE DOORS
- * STONE VENEER w/ADDRESS STONE
- * VINYL LAP SIDING @ ALL SIDES
- * VINYL SHAKE SIDING @ FRONT ONLY
- * WINDOW GRIDS @ FRONT ONLY
- * NO GABLE END RETURNS

ARTIST CONCEPT: THIS CONCEPT WAS CREATED
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THIS IS A (5) COURSE SPLIT ENTRY
WITH A WALKOUT FOUNDATION.

FRONT ELEVATION

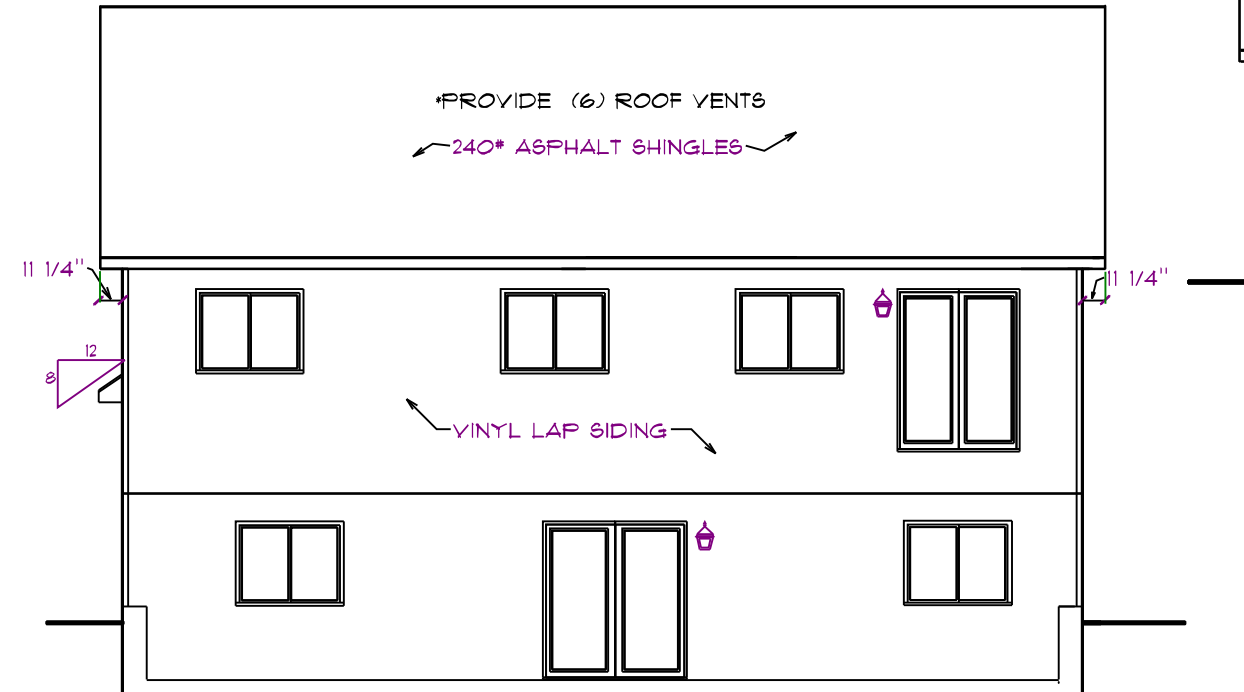
1/4" = 1'-0"



LEFT ELEVATION

1/8" = 1'-0"

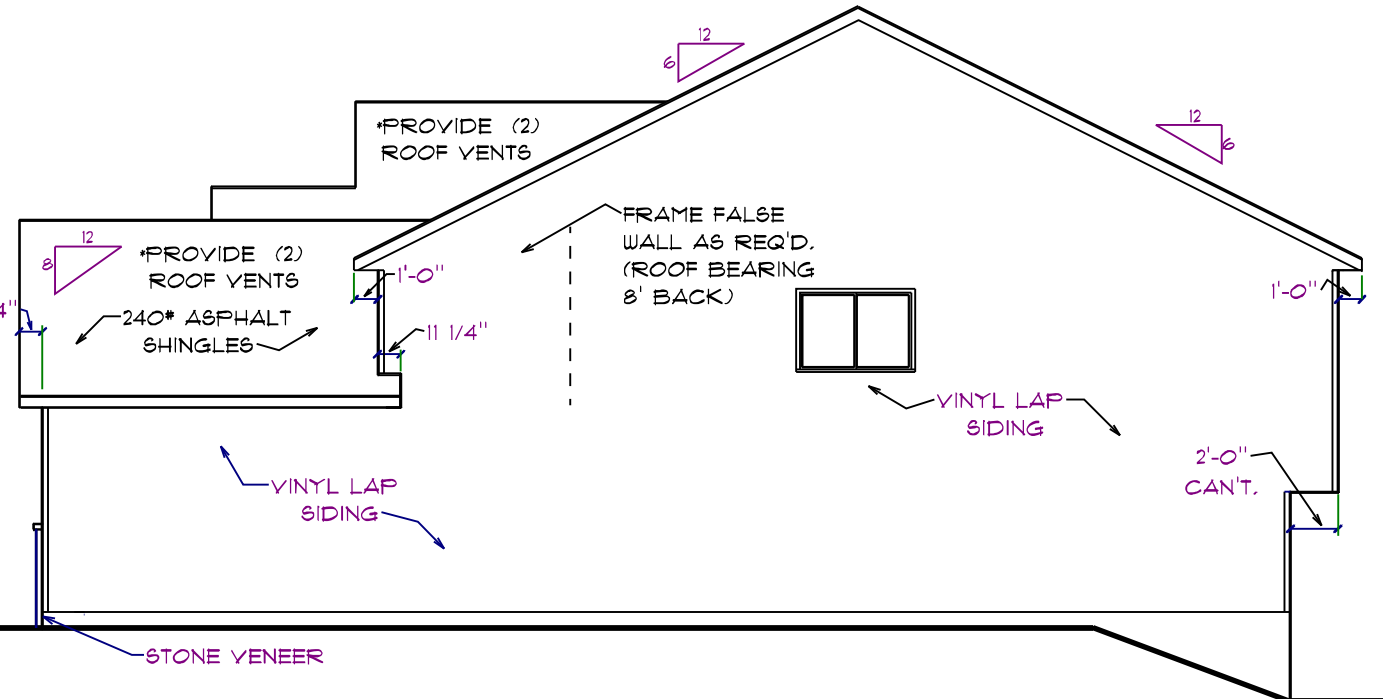
(w/ WALKOUT OPTION)



REAR ELEVATION

1/8" = 1'-0"

(w/ WALKOUT OPTION)



RIGHT ELEVATION

1/8" = 1'-0"

(w/ WALKOUT OPTION)

APPROVAL:

LOT: 22
BLOCK: 1
COUNTRY OAKS WEST

NAMES: THE
"FREEPORT 40' "
IN ANDOVER

WAIVER

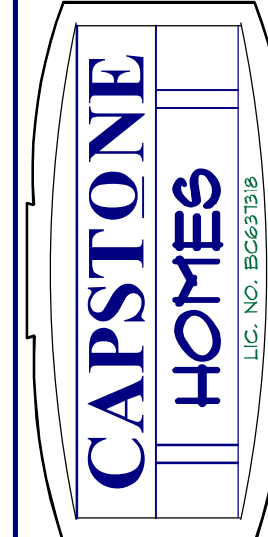
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CONTRACTOR AND HOMEOWNER
SHOULD REVIEW THESE PLANS TO
MAKE SURE ALL NOTES,
DIMENSIONS, ERRORS, AND
OMISSIONS ARE CORRECT BEFORE
CONSTRUCTION STARTS. WE ARE NOT
RESPONSIBLE FOR ERRORS AND
OMISSIONS ON THESE PLANS.

REVISIONS:
7/13/15

DATE: JUL. 8, 15

1465

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14015 SUNFISH LAKE BLVD. NW
SUITE 400
RAMSEY, MN 55303
OFFICE: (763) 427-3090
FAX: (763) 712-9060
www.capstonehomes-mn.com



#8615

Pg. 1 of 5

THE "SEAPORT" 40' (ELEVATION B)

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APPROVAL:

LOT: 23
BLOCK: 1
COUNTRY OAKS WEST

NAMES: THE "SEAPORT" IN ANDOVER

WAIVER

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REVISIONS: 7/15/15

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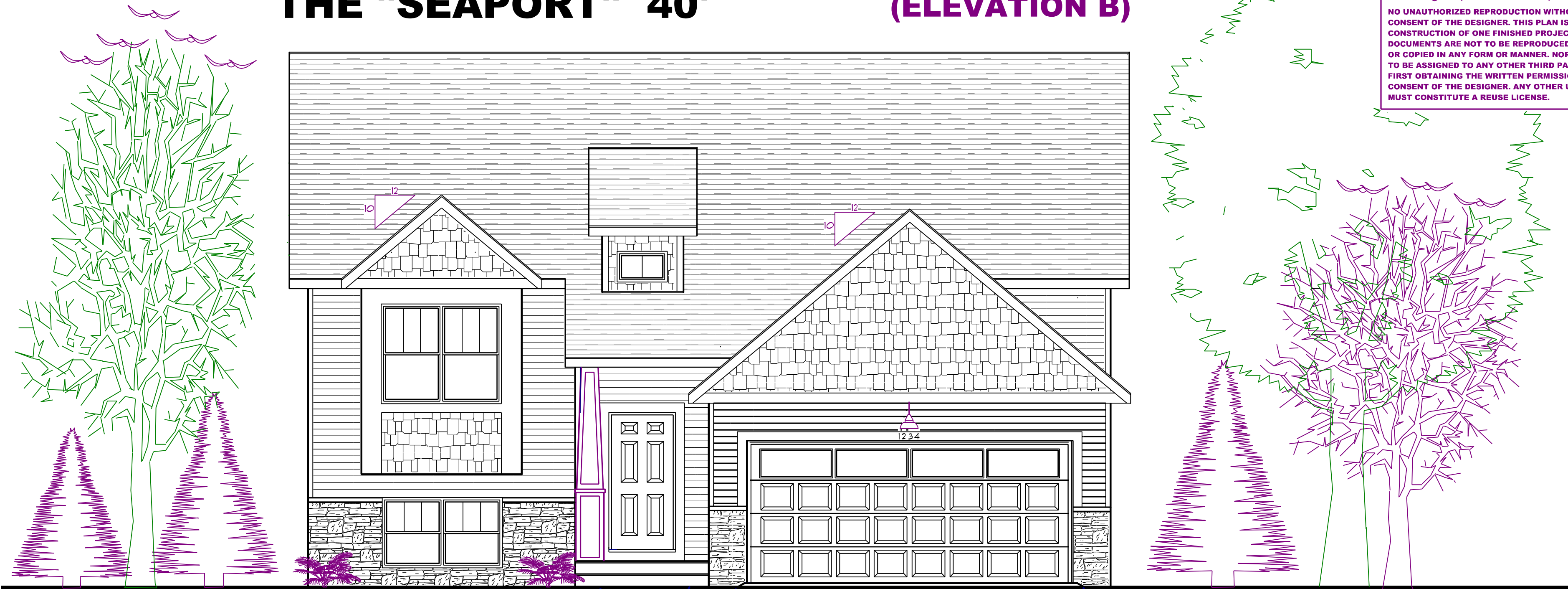
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Pg. 1 of 5



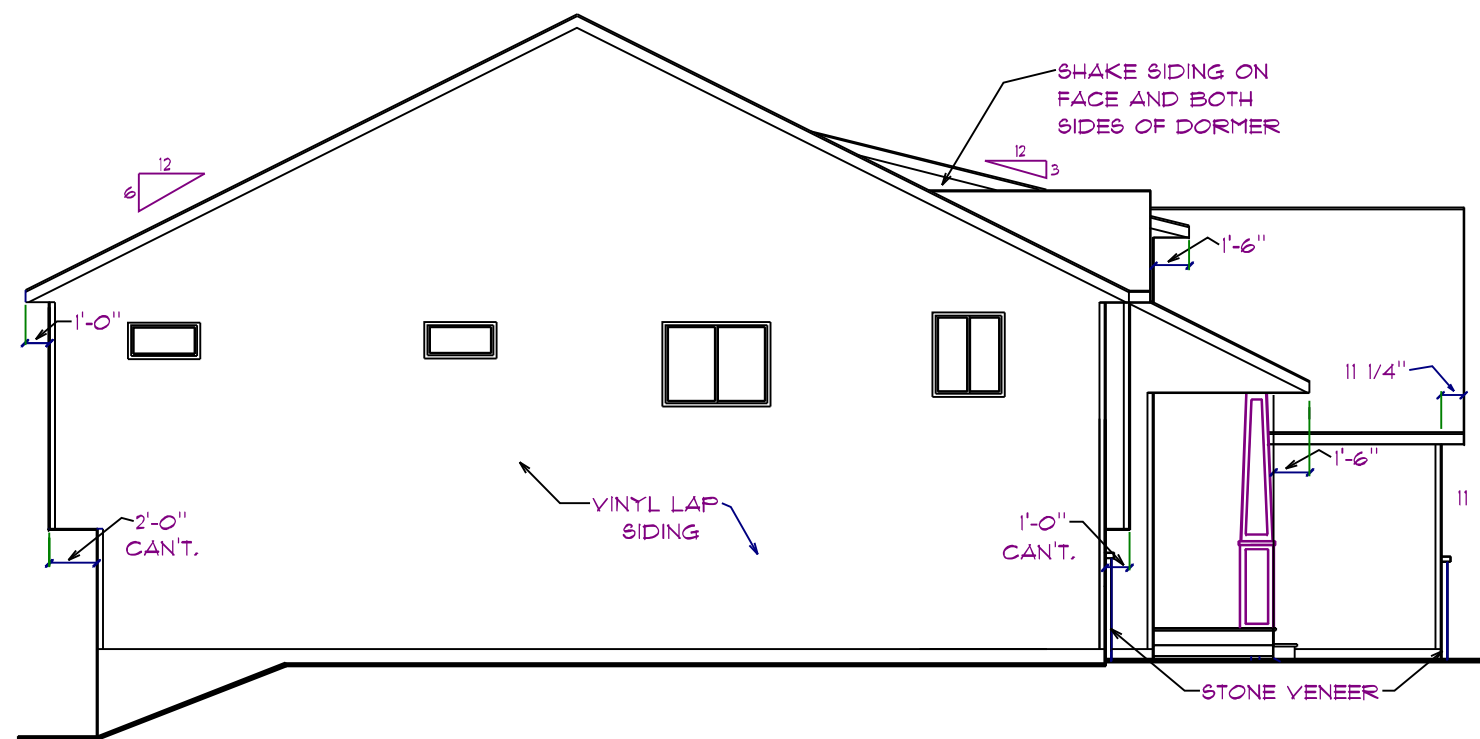
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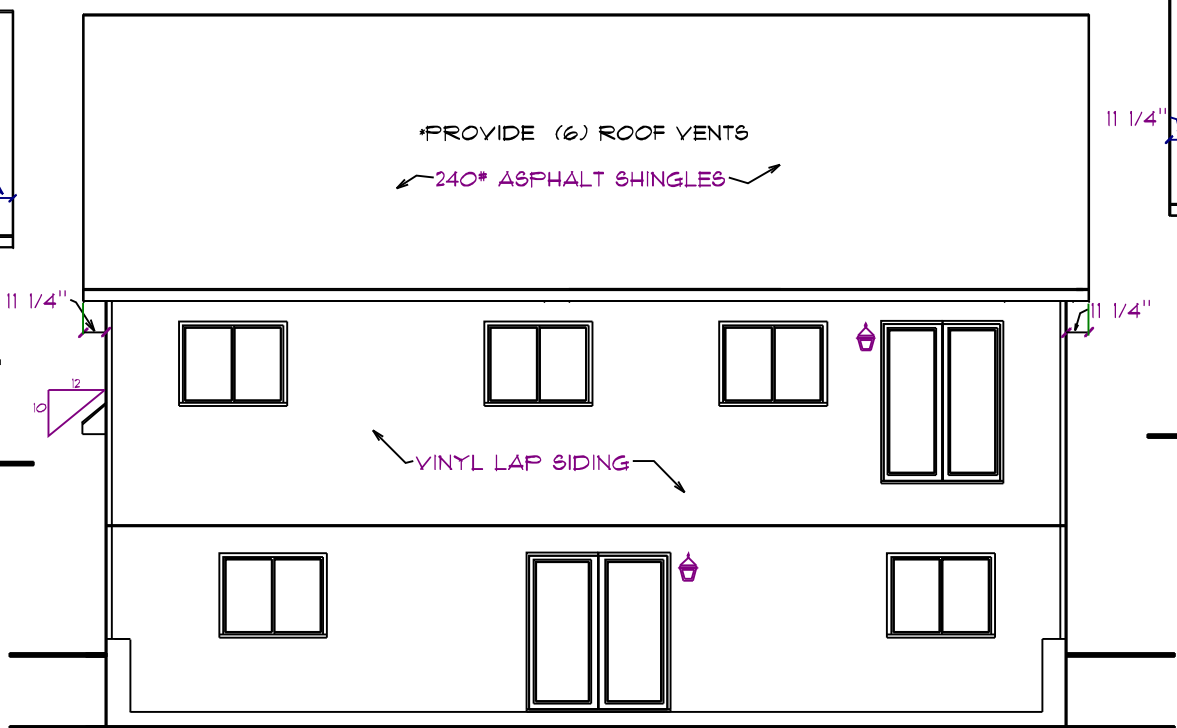
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LEFT ELEVATION

1/8" = 1'-0"

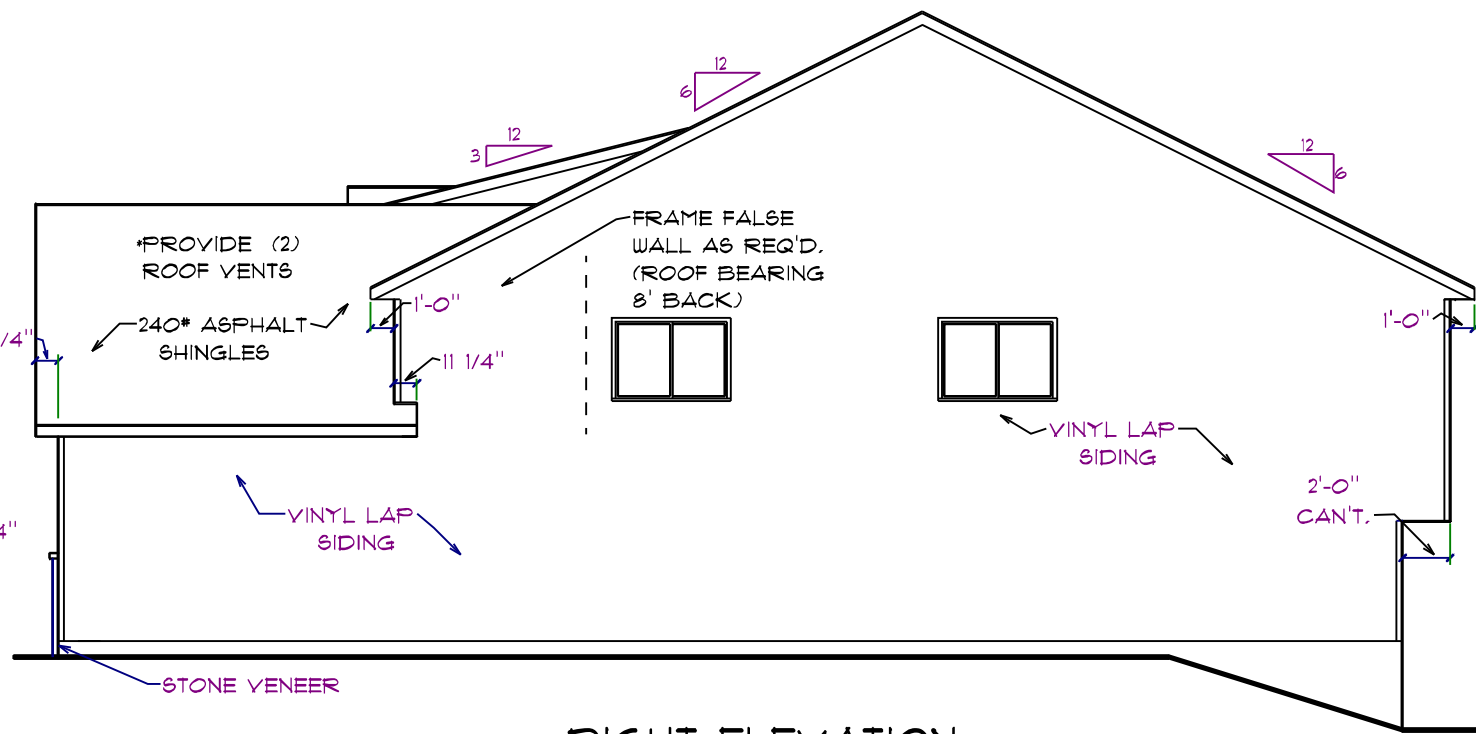
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REAR ELEVATION

1/8" = 1'-0"

(w/ WALKOUT OPTION)



RIGHT ELEVATION

1/8" = 1'-0"

(w/ WALKOUT OPTION)

THE "WHITFIELD"

(ELEVATION A)

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APPROVAL:

LOT: 13

BLOCK: 3

THE VILLAGE OF
SUNFISH LAKE

NAMES:
THE
"WHITFIELD"
IN
RAMSEY

WAIVER

EVERY EFFORT HAS BEEN MADE TO
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REVISIONS:
11/12/15

DATE: SEP. 30, 15

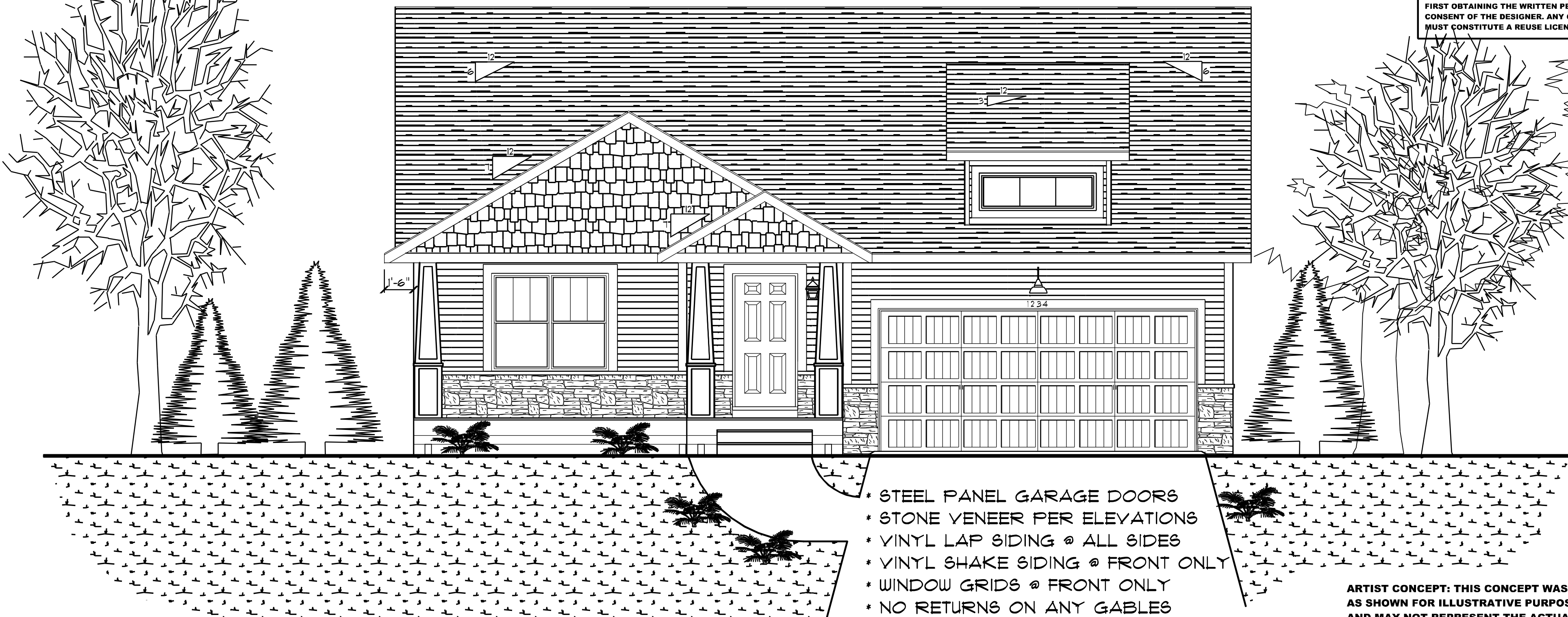
2314

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#11015

Pg. 1 of 5

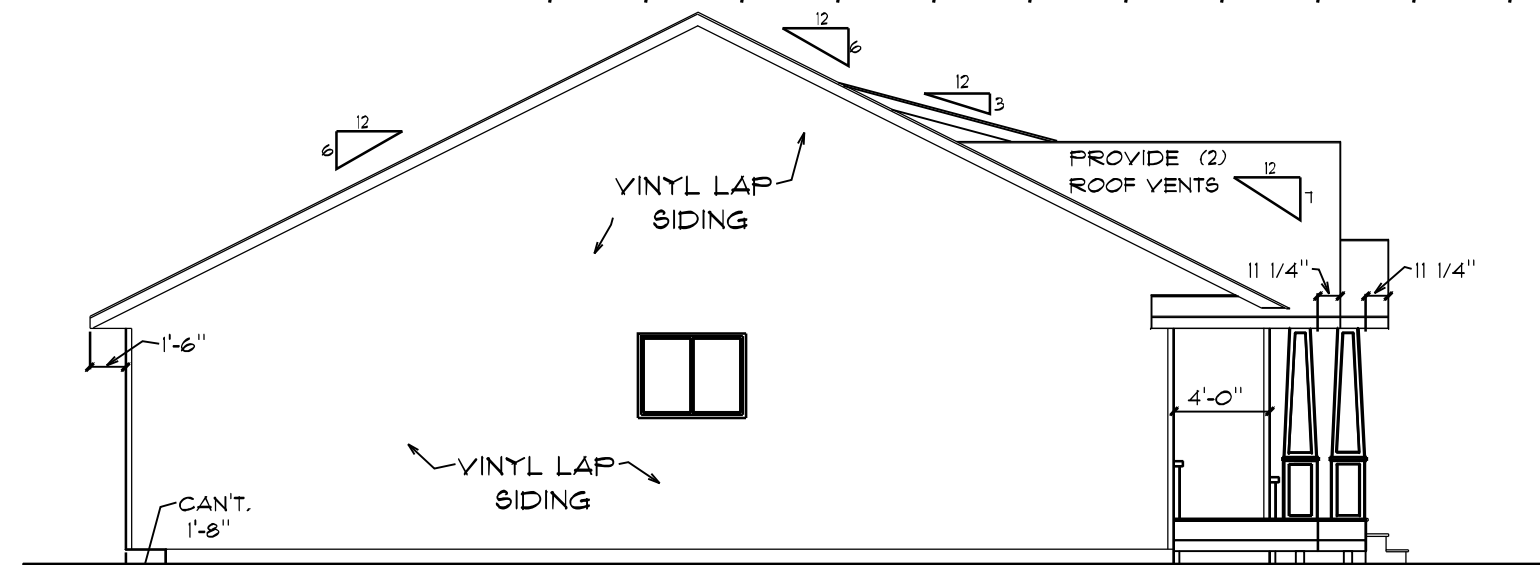


FRONT ELEVATION

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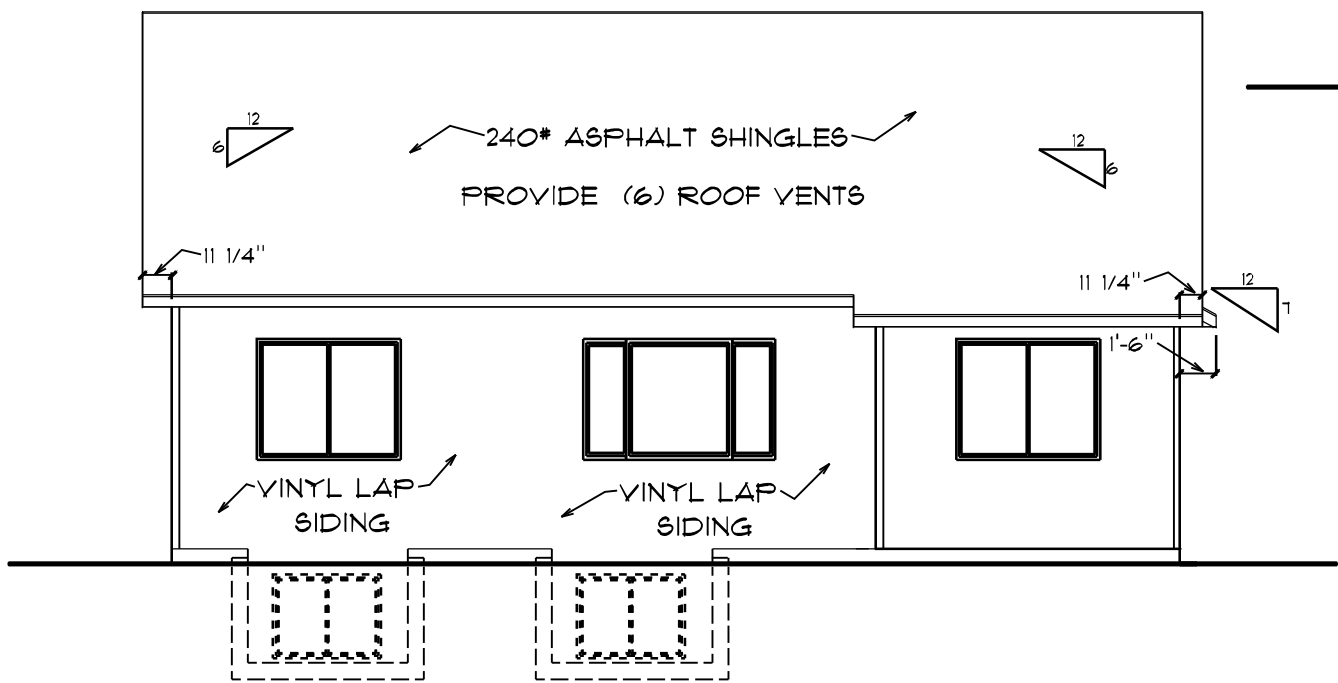
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LEFT ELEVATION

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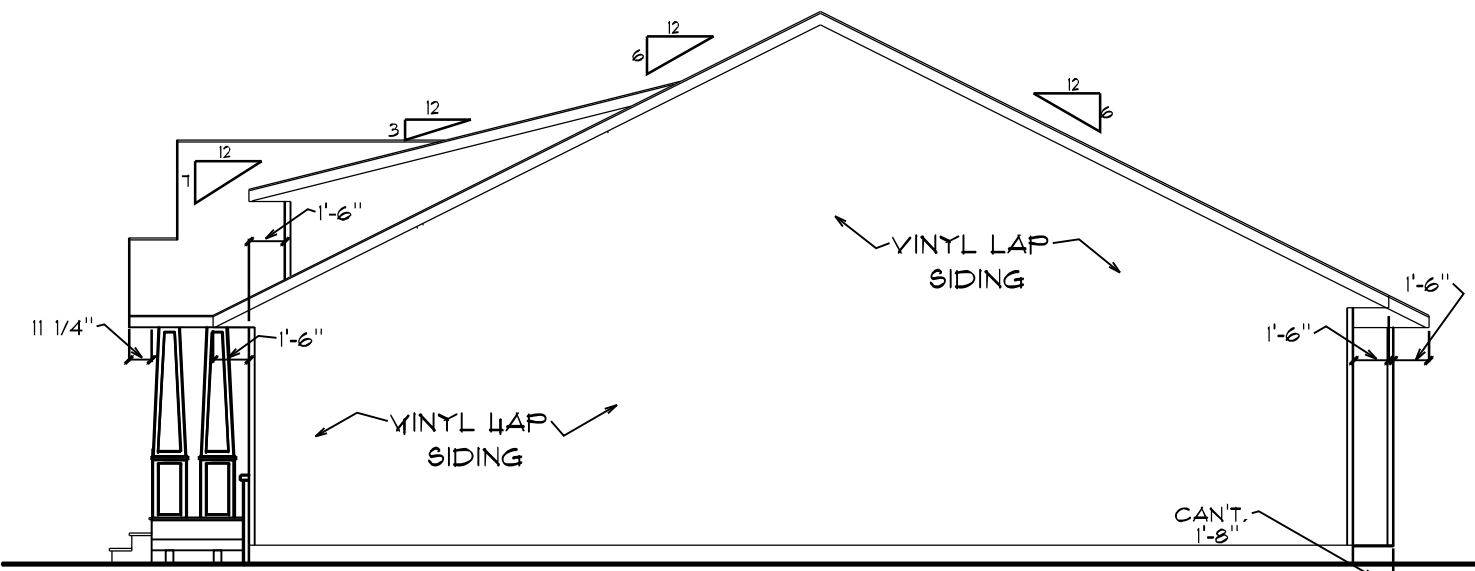
(w/ FULL BASEMENT)
(w/ FULL FRONT PORCH OPTION)



REAR ELEVATION

1/4" = 1'-0"

(w/ FULL BASEMENT)
(w/ FULL FRONT PORCH OPTION)



RIGHT ELEVATION

1/8" = 1'-0"

(w/ FULL BASEMENT)
(w/ FULL FRONT PORCH OPTION)

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NOTE:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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WINDOW GUIDE

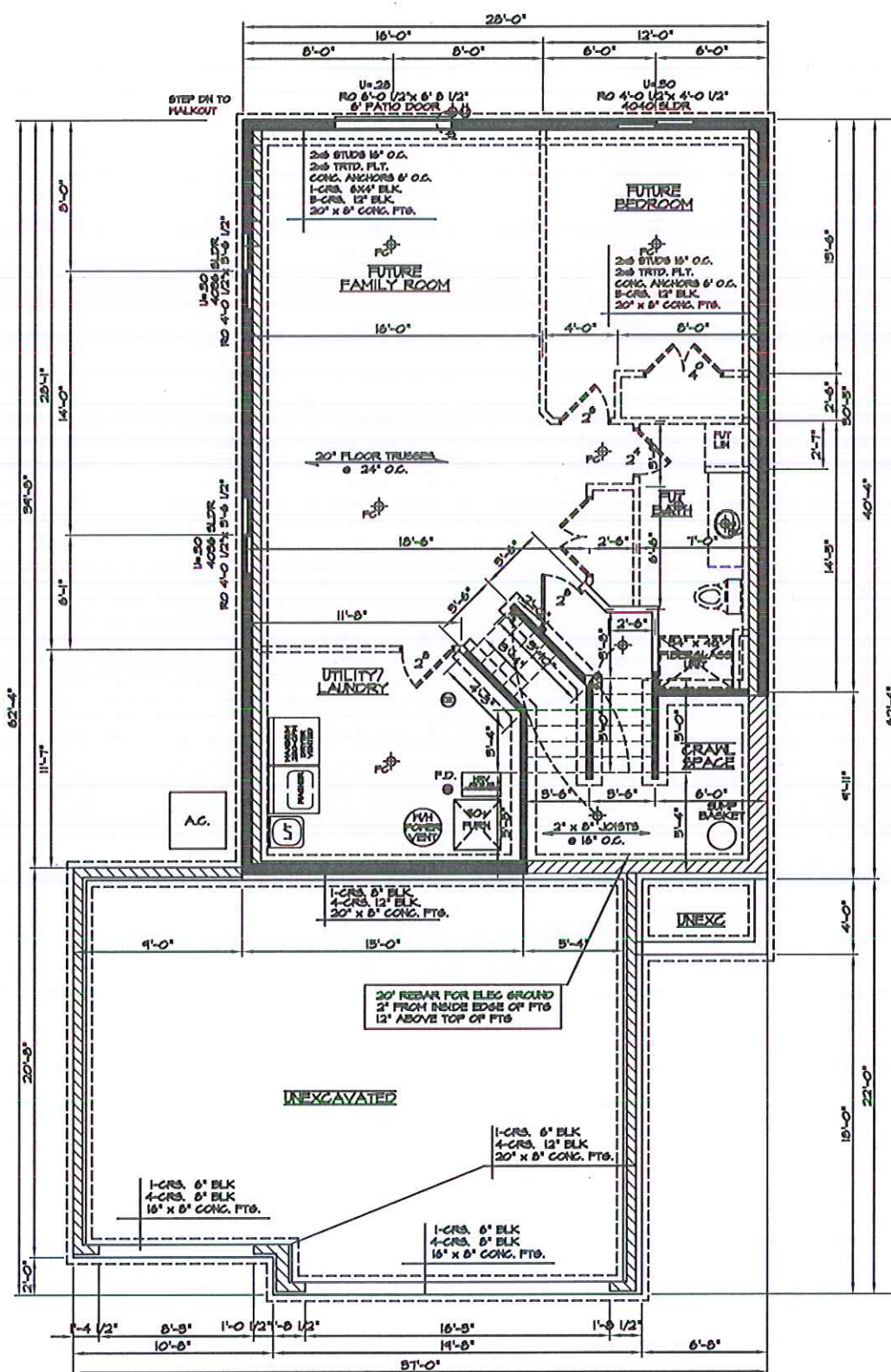
PLAN REVISION/DATE

FOYER/DATE

FOYER/DATE

REGENCY

PROJECT NO. 11111
 FIRST FLOOR 11111
 SECOND FLOOR 11111
 THIRD FLOOR 11111
 FOURTH FLOOR 11111
 FIFTH FLOOR 11111
 SIXTH FLOOR 11111
 SEVENTH FLOOR 11111
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LOWER LEVEL PLAN
 SCALE: 1/4"=1'-0"

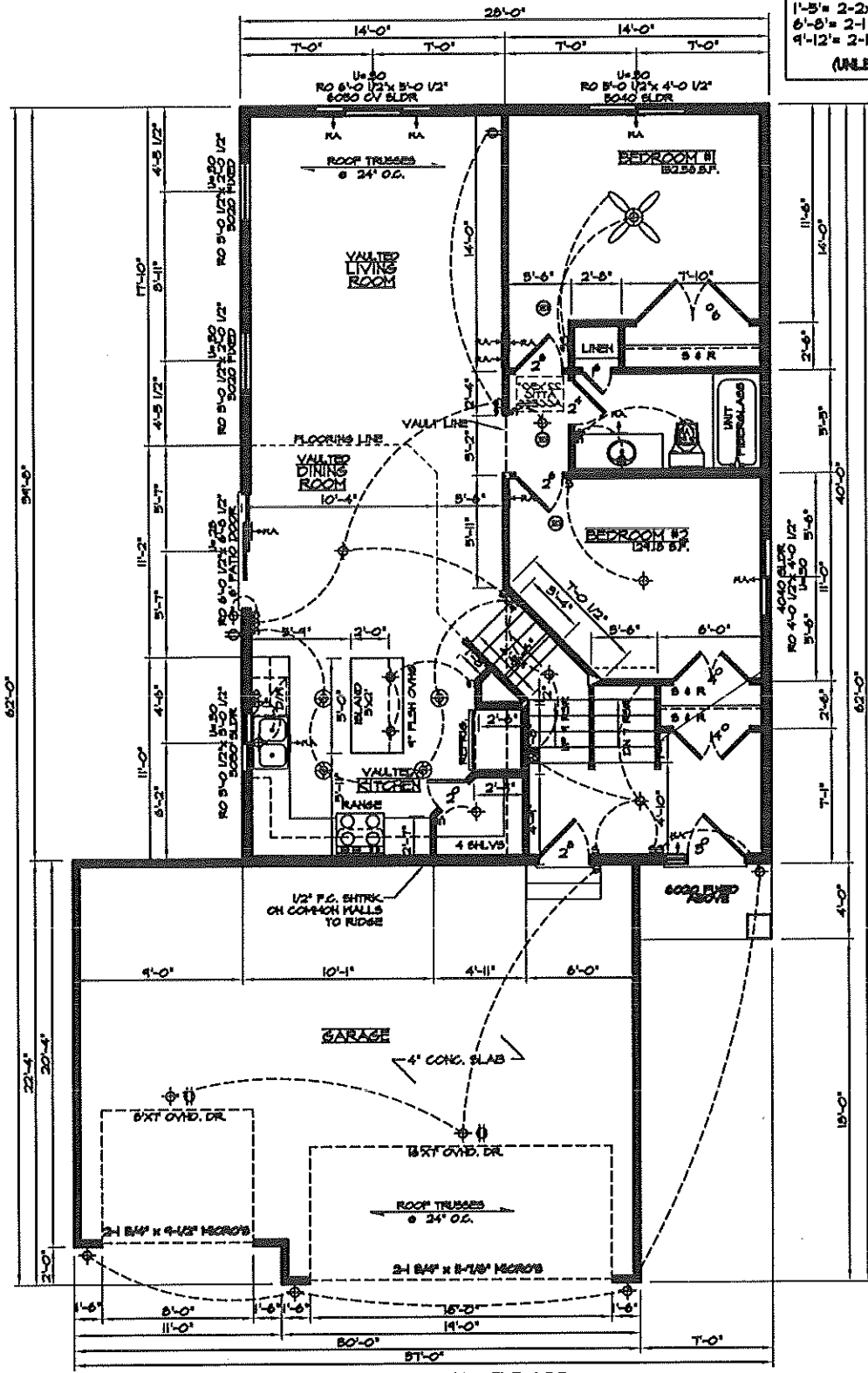
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NOTE:
 1. ALL DIMENSIONS ARE SHOWN IN FEET AND INCHES.
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WINDOW GUIDE

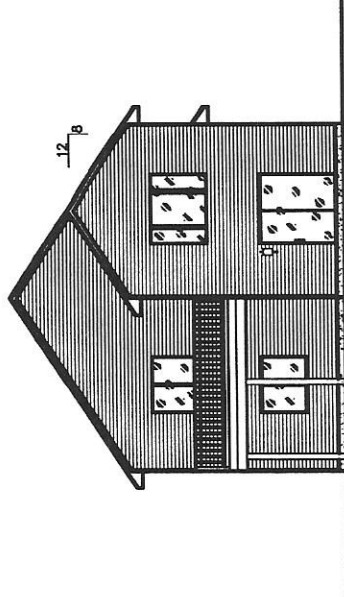
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FOOTER/DATE	
REGENCY	
FIRST FLOOR	11/14
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FOURTH FLOOR	11/14
FIFTH FLOOR	11/14
SIXTH FLOOR	11/14
SEVENTH FLOOR	11/14
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EIGHTEENTH FLOOR	11/14
NINETEENTH FLOOR	11/14
TWENTIETH FLOOR	11/14
ST. FRANCIS	

WINDOW HDR. SIZES
 1'-5" = 2-2x10 HDRS.
 6'-8" = 2-1 3/4"x4 1/2" TIMBERSTRAND
 9'-12" = 2-1 3/4"x11 7/8" TIMBERSTRAND
 (UNLESS NOTED OTHERWISE)



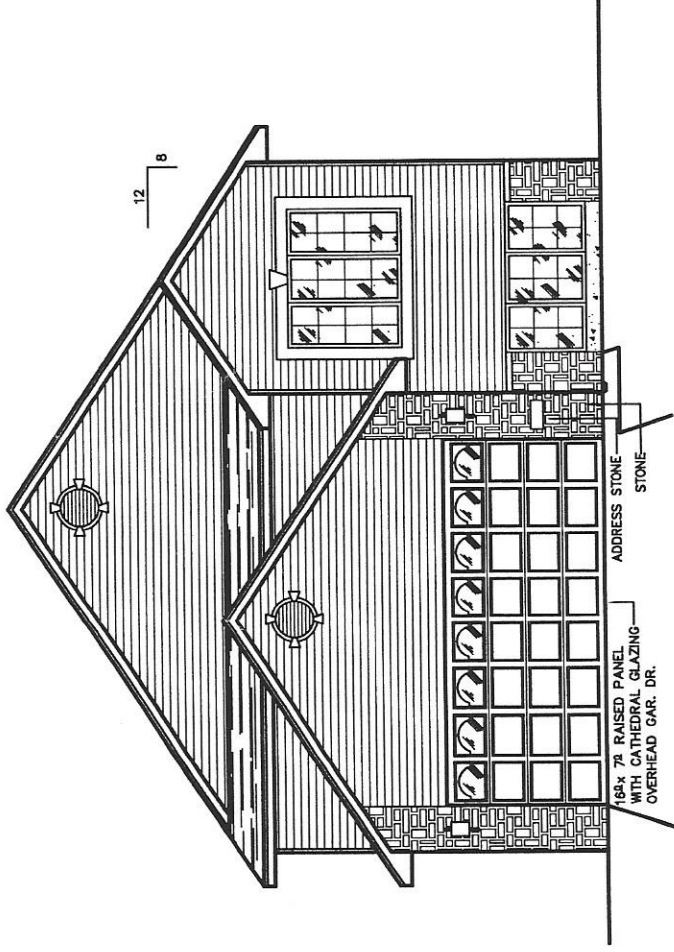
FIRST FLOOR PLAN
 SCALE 1/4"=1'-0"

7608



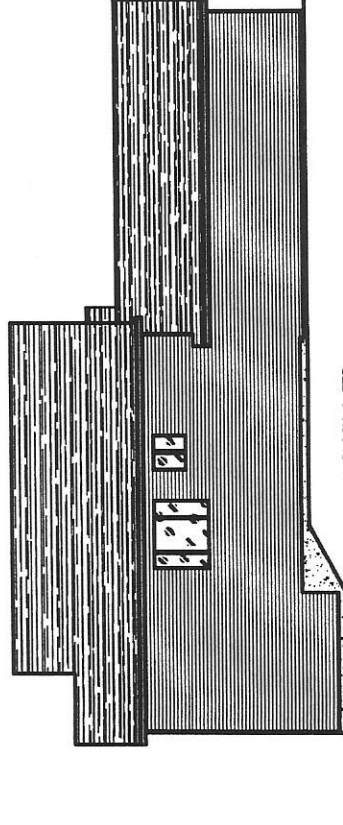
REAR ELEVATION

SCALE: 1/8"=1'-0"



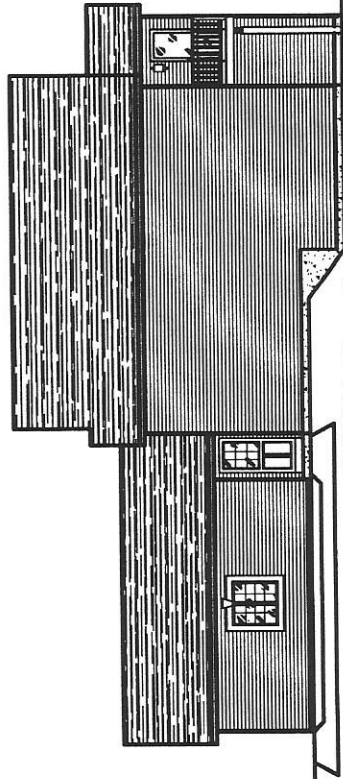
FRONT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE: 1/8"=1'-0"

MONARCH HOMES
7820 RIVERDALE DRIVE
RAMSEY, MN 55303
(763) 323-7933 fax (763) 323-9253

SHEET NUMBER
1
OF 4 SHEETS

PLAN:
TOWNHOME
PLAN #

PLAN FOR: MODEL
ST. FRANCIS, MN
DATE: 01-18-05
SQ. FT. 1014
DRAWN BY: KAS

REVISIONS:

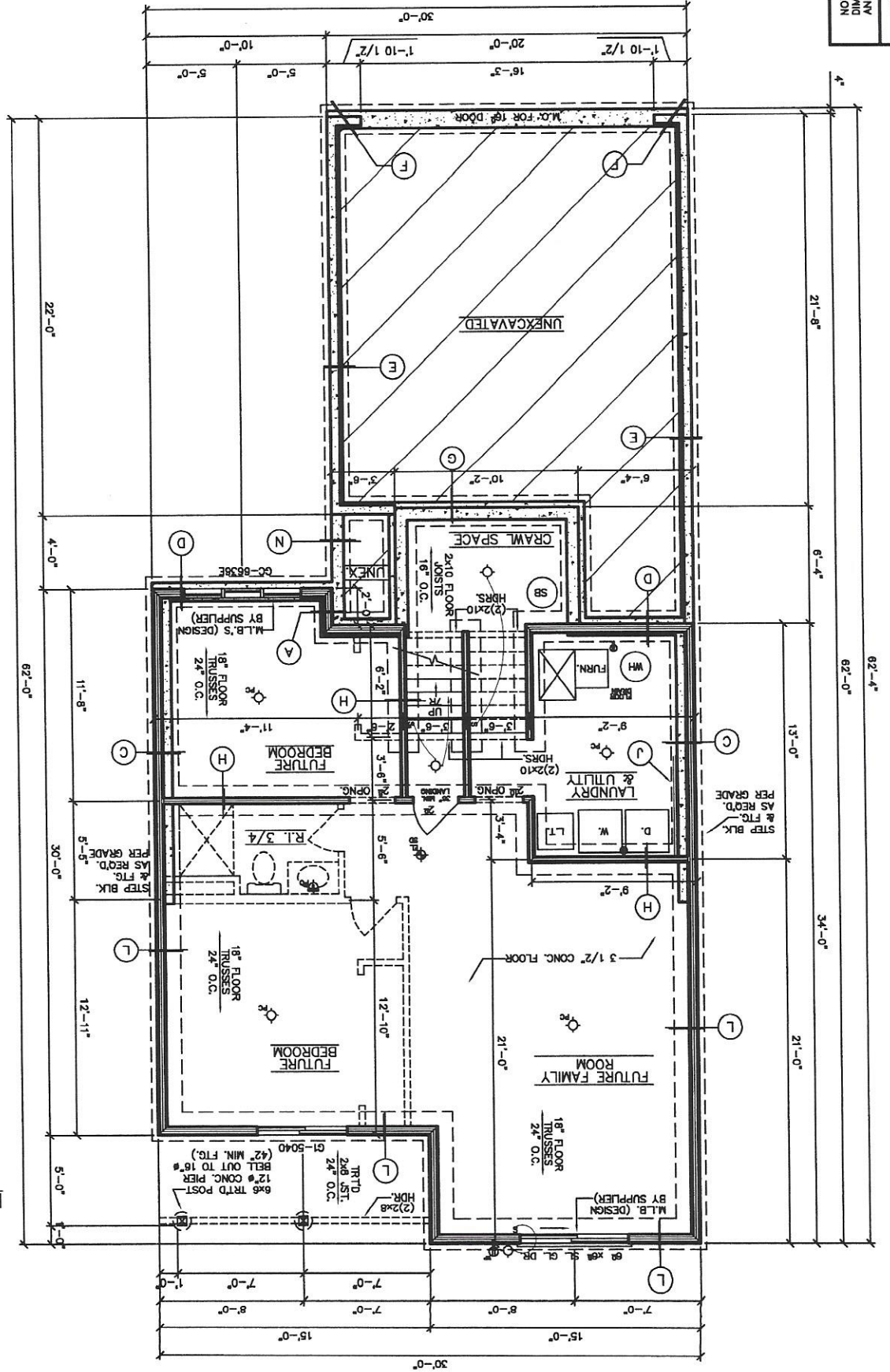
LOWER LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

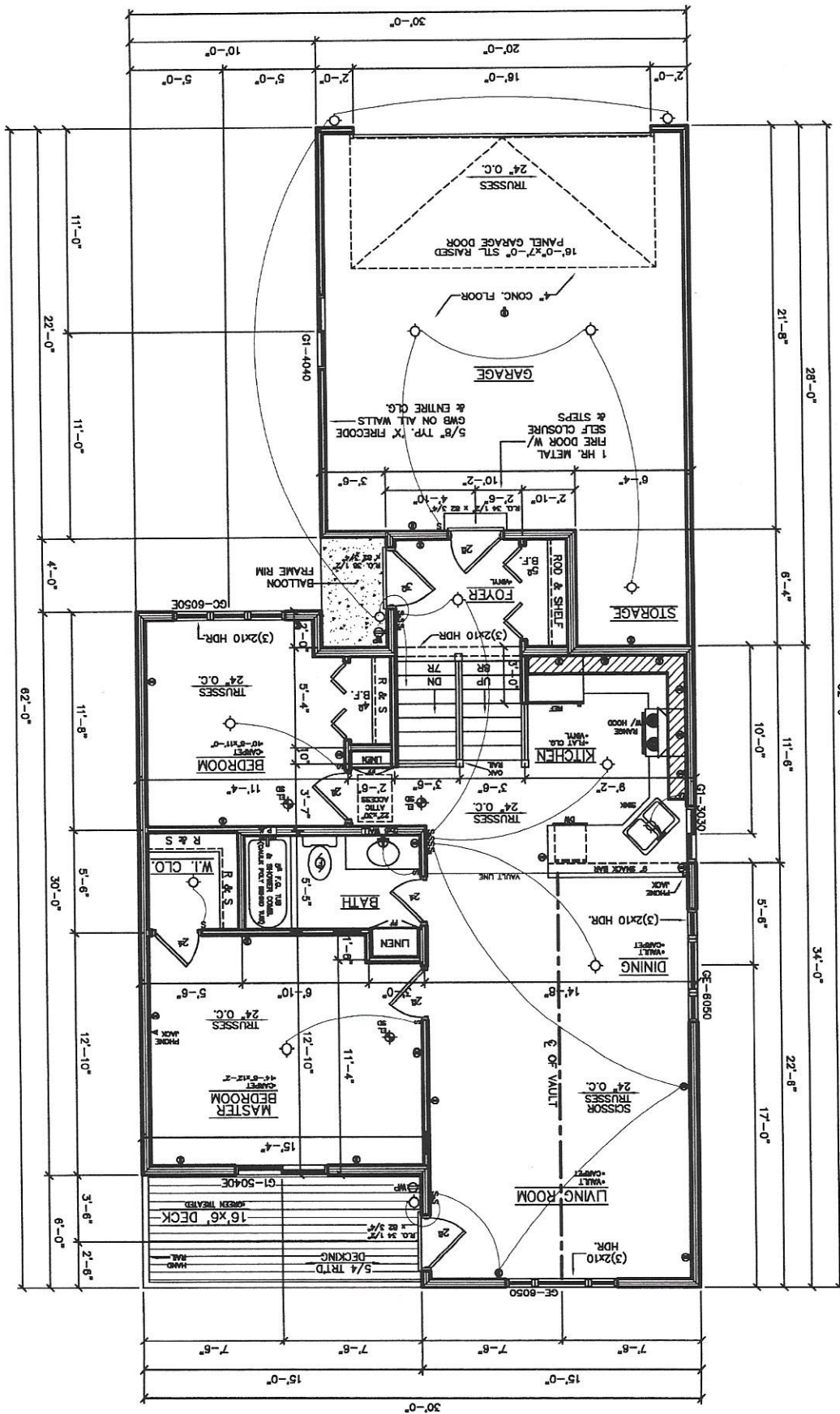
WINDOWS SHOWN

ALL HEIGHT CALCULATIONS
FOR FOUNDATIONS ARE BASED
ON THE USE OF FULL 8" HIGH
BLOCK WITH 3/8" JOINTS.
IF MODULAR BLOCK IS USED,
CONTRACTOR SHOULD ADJUST
HEIGHTS ACCORDINGLY.
CONTACT DESIGNER AND/OR
OWNER BEFORE ALTERING.

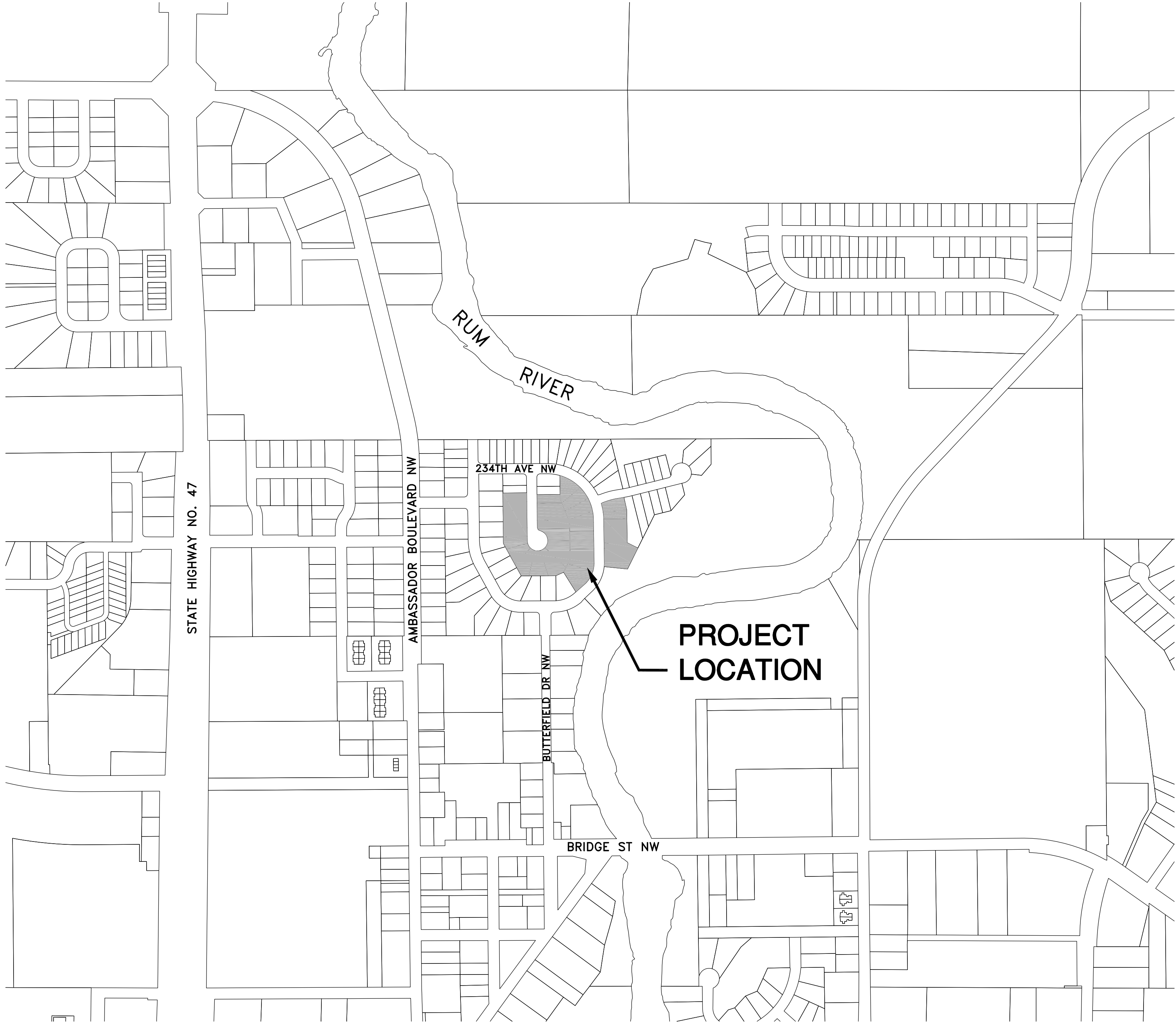
- FOUNDATION NOTES
- (A) 5 c 12" CONCRETE BLOCK
 - (B) 20x8 CONCRETE FOOTING
 - (C) 2x6 STUDS - 16" O.C.
 - (D) 2x6 STUDS - 16" O.C.
 - (E) 4 c 8" CONCRETE BLOCK
 - (F) 1 c 8" CONCRETE BLOCK
 - (G) 4 c 12" CONCRETE BLOCK
 - (H) 20x8 CONCRETE FOOTING
 - (I) 1 c 8" CONCRETE BLOCK
 - (J) 2x4 STUDS - 24" O.C.
 - (K) 20x8 CONCRETE FOOTING
 - (L) 1 c 4" 1/2" HALF HIGH
 - (M) 2x4 STUDS - 16" O.C.
 - (N) 4 c 8" CONCRETE BLOCK
 - (O) 20x8 CONCRETE FOOTING



"VINYLITE"
WINDOWS SHOWN
SCALE: 1/4"=1'-0"
1014 SQ. FT.

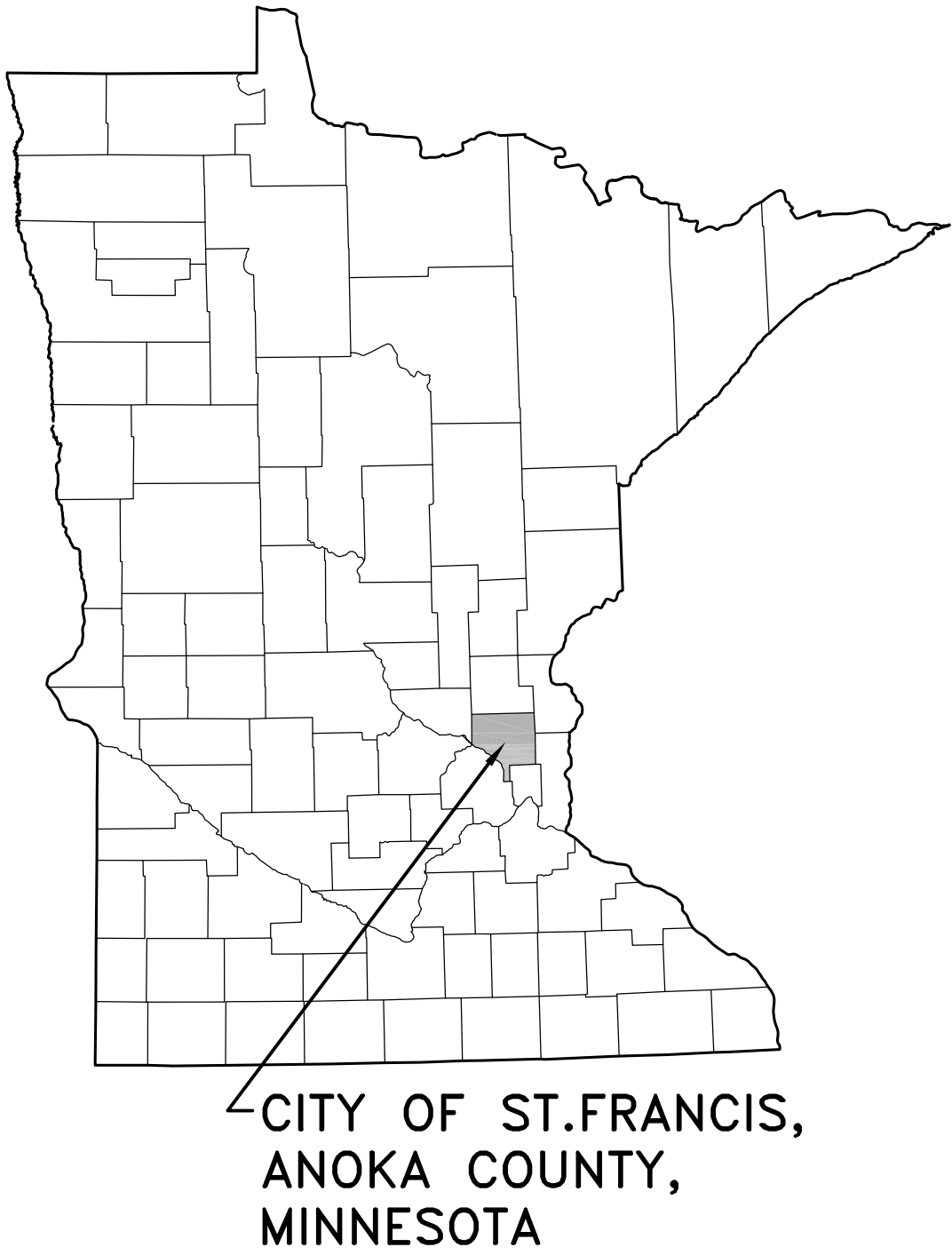


RUM RIVER TERRACE
PUD MODIFICATION PLANS
FOR PENTAGON HOLDINGS, LLC
CITY OF ST. FRANCIS



DEVELOPER/OWNER
PENTAGON HOLDINGS, LLC
9457 HIGHWAY NO. 10
RAMSEY, MN 55303
BILL BOYUM
612-221-3075

ENGINEER/SURVEYOR
HAKANSON ANDERSON
3601 THURSTON AVE.
ANOKA, MN 55303
ADAM M. THIELE, P.E.
CHARLES R. CHRISTOPHERSON, P.L.S.
763-427-5860
763-427-0520 (FAX)



GOVERNING SPECIFICATIONS

THE 2014 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND THE 2014 EDITION OF THE "MATERIALS LAB SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION", AND THE 2013 CEAM STANDARD SPECIFICATIONS SHALL GOVERN.

ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

ALL REQUIREMENTS OF THE PROJECT MANUAL FOR CREEKSIDE MEADOWS

SHEET INDEX

THIS PLAN CONTAINS 5 SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS/SITE PLAN
3	EASEMENT & LOT LINE MODIFICATION EXHIBIT
4	GRADING, DRAINAGE, & EROSION CONTROL PLAN
5	DETAILS

RECOMMEND FOR APPROVAL

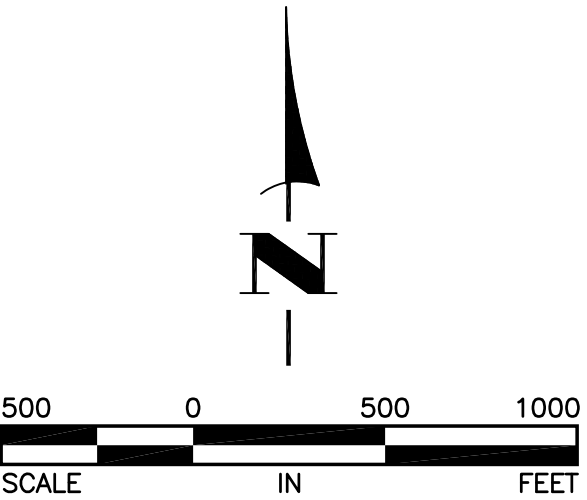
ST. FRANCIS CITY ENGINEER _____ DATE _____

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Adam M. Thiele 51317 DATE 03/15/16
ADAM M. THIELE, P.E. LIC. NO.
HAKANSON ANDERSON
DESIGN ENGINEER

DATE	REVISION

- BENCHMARKS:
- ① TOP NUT HYDRANT ON THE WEST SIDE OF WOODBINE STREET NW, AT THE INTERSECTION WITH 234TH AVENUE NW.
ELEV=921.28
 - ② TOP NUT HYDRANT IN THE SOUTHEAST QUADRANT OF 234TH AVENUE NW AND VINTAGE STREET NW.
ELEV=921.48



THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

Existing Conditions/Site Plan
of
RUM RIVER TERRACE
for
Pentagon Holdings, LLC

Municipality:	City of St. Francis	Building Setbacks: (Existing Townhome)
Existing Zoning:	PUD	Front yard: 35 feet
Proposed Zoning:	PUD (Modification)	Rear yard: 35 feet
Proposed Use:	Urban Residential	Side yard (House): 10 feet
Watershed District:	Upper Rum River WMO	Side yard (Garage): 10 feet
Road Mileage:	0 LF or 0.00 Miles	Building Setbacks: (Proposed Single-Family)
Street Lighting:	as required	Front yard: 35 feet
Proposed Utilities:	Sewer: Municipal (available)	Rear yard: 35 feet
	Water: Municipal (available)	Side yard (House): 5 feet
		Side yard (Garage): 5 feet
Total Area:	290,869 Sq.Ft. = 6.677 Acres	Owner/Subdivider:
Lot Summary:		Pentagon Holdings, LLC
Existing Number of Lots:	32 (Townhome Units)	9457 Highway 10
Proposed Number of Lots:	31 (Single Family Residential)	Romsey, MN 55303
Largest Residential Lot:	15,397 Sq.Ft.	Contact: Bill Boyum
Smallest Residential Lot:	6,750 Sq.Ft.	612-221-3075
Average Residential Lot Area:	9,383 Sq.Ft.	Designer/Surveyor
Residential Lot Density:	0.22 Lots per Acre	Hakanson Anderson Assoc.
		3601 Thurston Avenue
		Anoka, MN 55303
		(763) 427-5860

EXISTING PROPERTY DESCRIPTION:

Lots 3 through 18, Block 3, RUM RIVER TERRACE, Anoka County, Minnesota.
AND
Lots 21 through 30, Block 3, RUM RIVER TERRACE, Anoka County, Minnesota.
AND
Lots 1 through 6, Block 4, RUM RIVER TERRACE, Anoka County, Minnesota.

NOTES:

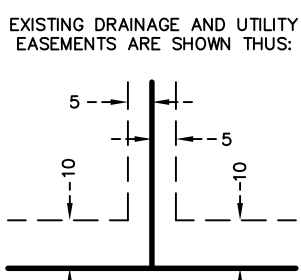
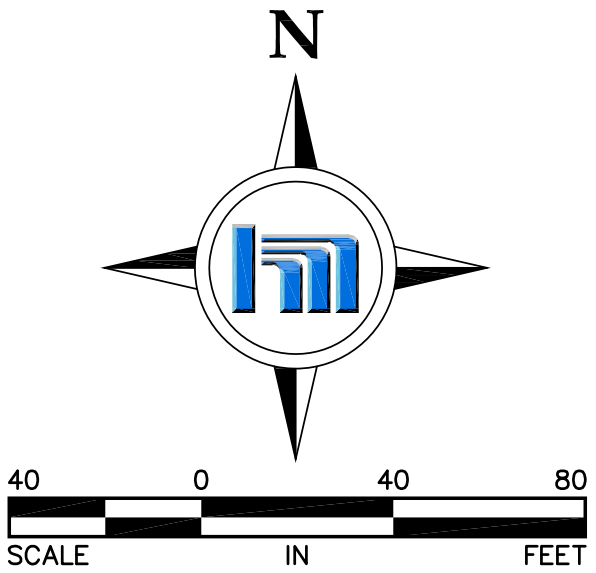
- The professional surveyor has made no investigation or independent search for easements of record, encumbrance, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- The underground utilities shown have been located from field survey information and available records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Prior to any excavation, contact Gopher State One Call for an on-site location (612-454-0002).
- A local datum developed by Melchert Walky in the preparation of the construction plans and design for Rum River Terrace was utilized for the current survey of the Rum River Terrace development. This local datum differs by 1.61 feet from the NAVD 1988 datum utilized by the City of St. Francis on their Benchmark Map. Benchmarks utilized for this survey are as follows:

Project Benchmark = Top Nut Hydrant on the West side of Woodbine Street NW, at the intersection with 234th Avenue NW.
Elevation = 921.28 feet per Melchert Walky local datum (922.89 feet (NAVD 1988) per City of St. Francis Benchmark Map)
Site Benchmark = Top Nut Hydrant in the SE Quadrant of 234th Avenue NW and Vintage Street NW.
Elevation = 921.48 feet

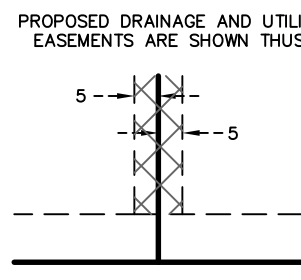
LEGEND

- 900- = DENOTES SURFACE CONTOUR (1 FT. INTERVAL)
- = DENOTES IRON MONUMENT FOUND
- = DENOTES HYDRANT
- = DENOTES SANITARY SEWER MANHOLE
- = DENOTES CATCH BASIN
- = DENOTES STORM SEWER MANHOLE
- = DENOTES GATE VALVE
- - - = DENOTES WATER LINE
- - - = DENOTES SANITARY SEWER LINE
- - - = DENOTES STORM SEWER LINE
- ☆ = DENOTES LIGHT POLE
- ⊕ = DENOTES TELEPHONE PEDESTAL
- ⊕ = DENOTES ELECTRIC TRANSFORMER

- - - = Denotes Proposed Additional Drainage & Utility Easement
- - - = Denotes Existing Drainage & Utility Easement to be Vacated
- 22* = Denotes Existing Lot to be Reconfigured by Lot Split



(NOT TO SCALE)
Being 5.00 feet in width, unless otherwise indicated and adjoining lot lines, and being 10.00 feet in width, unless otherwise indicated, and adjoining right-of-way lines, as shown on the plat.

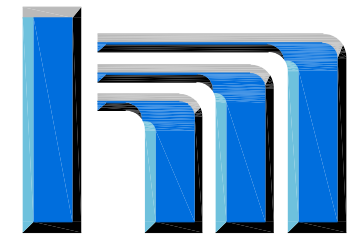


(NOT TO SCALE)
Being 5.00 feet in width, unless otherwise indicated and adjoining side lot lines, as shown on this drawing.

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Minnesota.
Charles R. Christopher
CHARLES R. CHRISTOPHERSON, LS
Date 03/15/16 Lic. No. 18420

DESIGNED BY:
CRC
DRAWN BY:
SMM
CHECKED BY:
CRC



Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520
www.haa-inc.com

RUM RIVER TERRACE

EXISTING CONDITIONS/SITE PLAN
CITY OF ST. FRANCIS, MINNESOTA

SHEET
2
OF
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SHEETS

Existing Conditions/Site Plan
of
RUM RIVER TERRACE
for
Pentagon Holdings, LLC

Municipality:	City of St. Francis	Building Setbacks: (Existing Townhome)	
Existing Zoning:	PUD	Front yard:	35 feet
Proposed Zoning:	PUD (Modification)	Rear yard:	35 feet
Proposed Use:	Urban Residential	Side yard (House):	10 feet
Watershed District:	Upper Rum River WMO	Side yard (Garage):	10 feet
Road Mileage:	0 LF or 0.00 Miles	Building Setbacks: (Proposed Single-Family)	
Street Lighting:	as required	Front yard:	35 feet
Proposed Utilities:	Sewer: Municipal (available) Water: Municipal (available)	Rear yard:	35 feet
Total Area:	290,869 Sq.Ft. = 6.677 Acres	Side yard (House):	5 feet
Lot Summary:		Side yard (Garage):	5 feet
Existing Number of Lots:	32 (Townhome Units)	Owner/Subdivider:	Pentagon Holdings, LLC
Proposed Number of Lots:	31 (Single Family Residential)	9457 Highway 10	
Largest Residential Lot:	15,397 Sq.Ft.	Ramsey, MN 55303	
Smallest Residential Lot:	6,750 Sq.Ft.	Contact: Bill Boyum	
Average Residential Lot Area:	9,383 Sq.Ft.	612-221-3075	
Residential Lot Density:	0.22 Lots per Acre	Designer/Surveyor:	Hakanson Anderson Assoc.
		3601 Thurston Avenue	
		Anoka, MN 55303	
		(763) 427-5860	

EXISTING PROPERTY DESCRIPTION:

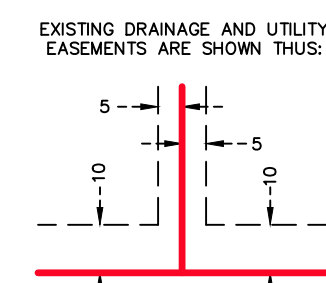
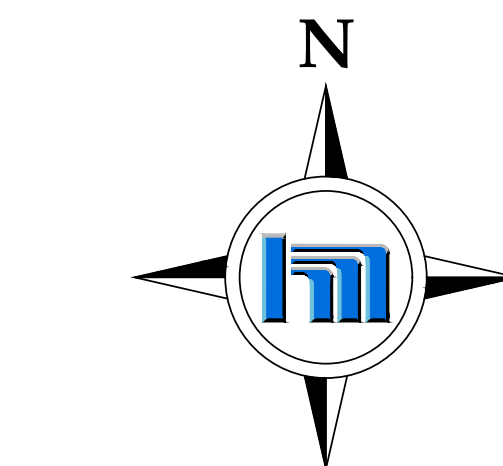
Lots 3 through 18, Block 3, RUM RIVER TERRACE, Anoka County, Minnesota.
AND
Lots 21 through 30, Block 3, RUM RIVER TERRACE, Anoka County, Minnesota.
AND
Lots 1 through 6, Block 4, RUM RIVER TERRACE, Anoka County, Minnesota.

NOTES:

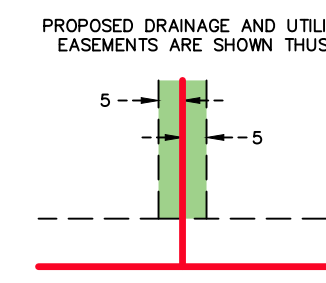
- The professional surveyor has made no investigation or independent search for easements of record, encumbrance, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- The underground utilities shown have been located from field survey information and available records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Prior to any excavation, contact Gopher State One Call for an on-site location (612-454-0002).
- A local datum developed by Melchert Walkly in the preparation of the construction plans and design for Rum River Terrace was utilized for the current survey of the Rum River Terrace development. This local datum differs by 1.61 feet from the NAVD 1988 datum utilized by the City of St. Francis on their Benchmark Map. Benchmarks utilized for this survey are as follows:
Project Benchmark = Top Nut Hydrant on the West side of Woodbine Street NW, at the intersection with 234th Avenue NW.
Elevation = 921.28 feet per Melchert Walkly local datum (922.89 feet (NAVD 1988) per City of St. Francis Benchmark Map)
Site Benchmark = Top Nut Hydrant in the SE Quadrant of 234th Avenue NW and Vintage Street NW.
Elevation = 921.48 feet

LEGEND

- 900- = DENOTES SURFACE CONTOUR (1 FT. INTERVAL)
- = DENOTES IRON MONUMENT FOUND
- ⊕ = DENOTES HYDRANT
- ⊙ = DENOTES SANITARY SEWER MANHOLE
- ⊗ = DENOTES CATCH BASIN
- ⊕ = DENOTES STORM SEWER MANHOLE
- ⊗ = DENOTES GATE VALVE
- - - = DENOTES WATER LINE
- - - = DENOTES SANITARY SEWER LINE
- - - = DENOTES STORM SEWER LINE
- ☆ = DENOTES LIGHT POLE
- ⊕ = DENOTES TELEPHONE PEDESTAL
- ⊕ = DENOTES ELECTRIC TRANSFORMER
- = Denotes Proposed Additional Drainage & Utility Easement
- = Denotes Existing Drainage & Utility Easement to be Vacated
- 22* = Denotes Existing Lot to be Reconfigured by Lot Split



(NOT TO SCALE)
Being 5.00 feet in width, unless otherwise indicated and adjoining lot lines, and being 10.00 feet in width, unless otherwise indicated, and adjoining right-of-way lines, as shown on the plot.



(NOT TO SCALE)
Being 5.00 feet in width, unless otherwise indicated and adjoining side lot lines, as shown on this drawing.

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Minnesota.

CHARLES R. CHRISTOPHERSON, LS
Date 03/15/16 Lic. No. 18420

DESIGNED BY: CRC
DRAWN BY: SMM
CHECKED BY: CRC



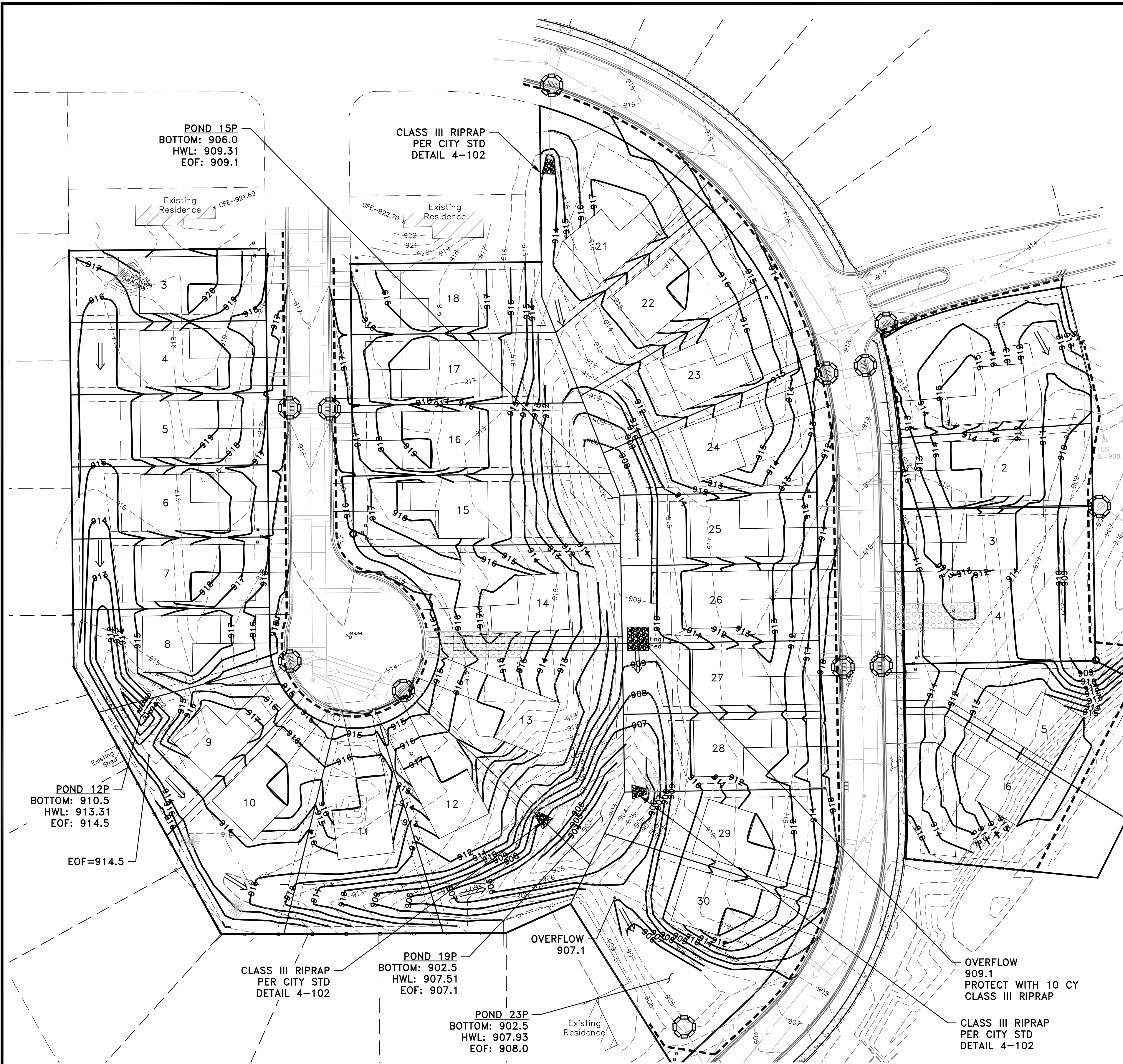
Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520
www.haa-inc.com

RUM RIVER TERRACE

EASEMENT & LOT LINE MODIFICATION EXHIBIT
CITY OF ST. FRANCIS, MINNESOTA

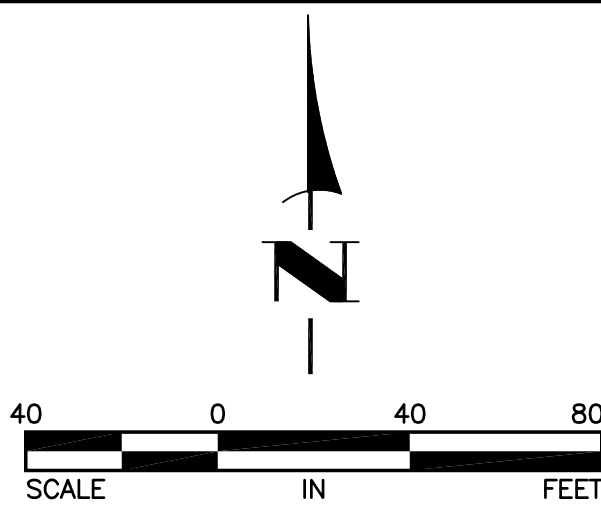
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LEGEND

- 856 --- EXISTING CONTOUR
- 856 — PROPOSED CONTOUR
- > — EXISTING SANITARY SEWER
- — EXISTING WATERMAIN
- TC=56.5 PROPOSED SPOT ELEVATION
- ⇒ DRAINAGE ARROW
- SILT FENCE, PER CITY STD DETAIL 3-402
- INLET PROTECTION PER CITY STD DETAIL 3-108A OR EQUAL
- STABILIZED CONSTRUCTION EXIT PER CITY STD DETAIL 3-502



LOT TABULATION									
LOT	BLOCK	HOUSE TYPE	GUTTERLINE ELEVATION	GARAGE FLOOR ELEVATION	DRIVEWAY GRADE (%)	LOWEST LIVABLE FLOOR ELEVATION	LOOKOUT ELEVATION	LOWEST OPENING ELEVATION	ESTIMATED 100-YEAR FLOOD ELEVATION
3	3	SEWO	917.2	920.0	6.1	917.3	N/A	917.3	
4	3	SEWO	916.4	919.5	7.0	916.8	N/A	916.8	
5	3	SEWO	916.0	919.0	7.2	916.3	N/A	916.3	
6	3	SEWO	915.3	918.5	7.7	915.8	N/A	915.8	
7	3	SEWO	915.1	918.0	7.0	915.3	N/A	915.3	913.3
8	3	SELO	914.5	917.5	7.2	914.8	917.8	917.8	913.3
9	3	SEWO	914.3	917.5	4.2	914.8	N/A	914.8	913.3
10	3	SEWO	914.2	917.0	6.8	914.3	N/A	914.3	
11	3	SEWO +	913.8	917.0	7.7	913.6	N/A	913.6	
12	3	SEWO ++	913.9	917.0	7.5	912.9	N/A	912.9	907.5
13	3	SEWO ++	913.9	917.0	7.5	912.9	N/A	912.9	907.5
14	3	SEWO ++	914.5	917.5	7.2	913.4	N/A	913.4	909.3
15	3	SEWO	915.5	918.5	7.2	915.8	N/A	915.8	909.3
16	3	SEWO	915.9	919.0	7.5	916.3	N/A	916.3	909.3
17	3	SEWO	916.3	919.5	7.7	916.8	N/A	916.8	
18	3	SEWO	917.0	920.0	4.0	917.3	N/A	917.3	
21	3	SEWO	914.6	917.5	6.2	914.7	N/A	914.7	
22	3	SEWO	914.2	917.0	6.0	914.2	N/A	914.2	
23	3	SEWO	912.9	916.0	6.6	913.7	N/A	913.7	909.3
24	3	SEWO	912.3	915.5	6.8	912.7	N/A	912.7	909.3
25	3	SEWO	910.0	913.8	8.0	911.0	N/A	911.0	909.3
26	3	SEWO	909.4	913.2	8.0	911.1	N/A	911.1	909.3
27	3	SEWO	908.9	912.5	7.6	910.4	N/A	910.4	909.3
28	3	SEWO	909.1	912.8	7.8	910.7	N/A	910.7	907.5
29	3	SEWO	909.8	913.0	6.8	910.9	N/A	910.9	907.5
30	3	SEWO	909.4	913.0	7.6	910.9	N/A	910.9	907.5
1	4	SEWO	912.4	915.4	6.4	912.7	N/A	912.7	
2	4	SEWO	911.7	915.0	7.0	912.3	N/A	912.3	
3	4	SEWO	910.2	913.7	7.4	911.0	N/A	911.0	908.3
5	4	SE	908.9	913.5	5.8	911.0	N/A	916.5	
6	4	SE	909.0	913.5	6.6	911.0	N/A	916.5	

SE SPLIT ENTRY
SEWO SPLIT ENTRY WALKOUT
GFE GARAGE FLOOR ELEVATION
LFE LOW FLOOR ELEVATION
+ DENOTES 5 COURSE BASEMENT
++ DENOTES 6 COURSE BASEMENT

GENERAL NOTES:

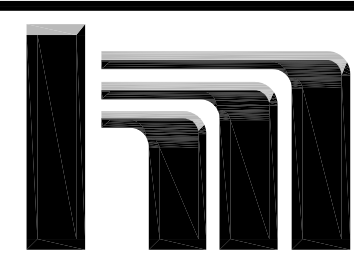
- THIS SITE HAS PREVIOUSLY BEEN ROUGH GRADED FOR RESIDENTIAL DEVELOPMENT. PAD ELEVATIONS ARE NOT PROPOSED TO BE MODIFIED. HOWEVER, LOW FLOOR ELEVATIONS HAVE BEEN MODIFIED. OTHER THAN FINISH GRADING FOR INDIVIDUAL LOTS, ROUGH GRADING WORK WILL BE LIMITED TO REAR OF LOTS AND MODIFICATIONS FOR DRAINAGE AND STORMWATER BASINS.
- REVEGETATION SHALL OCCUR WITHIN 7 DAYS OF ROUGH GRADING.
- SITE SURVEY WAS COMPLETED BY HAKANSON ANDERSON.
- SLOPES SHALL BE NO STEEPER THAN 4:1.
- STREETS AND PROPERTY ADJACENT TO THE CONSTRUCTION SHALL BE KEPT FREE FROM SEDIMENT CAUSED BY CONSTRUCTION TRAFFIC, SITE RUNOFF AND BLOWING DUST.
- AFTER INITIAL GRADING, COMPLETELY SURROUND INFILTRATION BASINS (PONDS) WITH SILT FENCE TO PREVENT THE AREAS FROM FILLING WITH SEDIMENT. MAINTAIN UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
- EXCEPT FOR THE PONDS, ALL DISTURBED AREAS SHALL BE SEEDED WITH Mn/DOT SEED MIX 25-121, OR APPROVED EQUAL, AND MULCHED WITH DISC ANCHORED, TYPE 1 MULCH MATERIAL. THE PONDS SHALL BE SEEDED WITH Mn/DOT SEED MIX 33-262. ALL SEEDING SHALL CONFORM TO MNDOT SEEDING.
- THIS SITE IS LOCATED WITHIN THE BOUNDARIES OF THE LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION (LRRWMO).

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Adam M. Thiele
ADAM M. THIELE, PE
Date 03/15/16 Lic. No. 51317

DESIGNED BY:
AMT
DRAWN BY:
AMT
CHECKED BY:
TAE

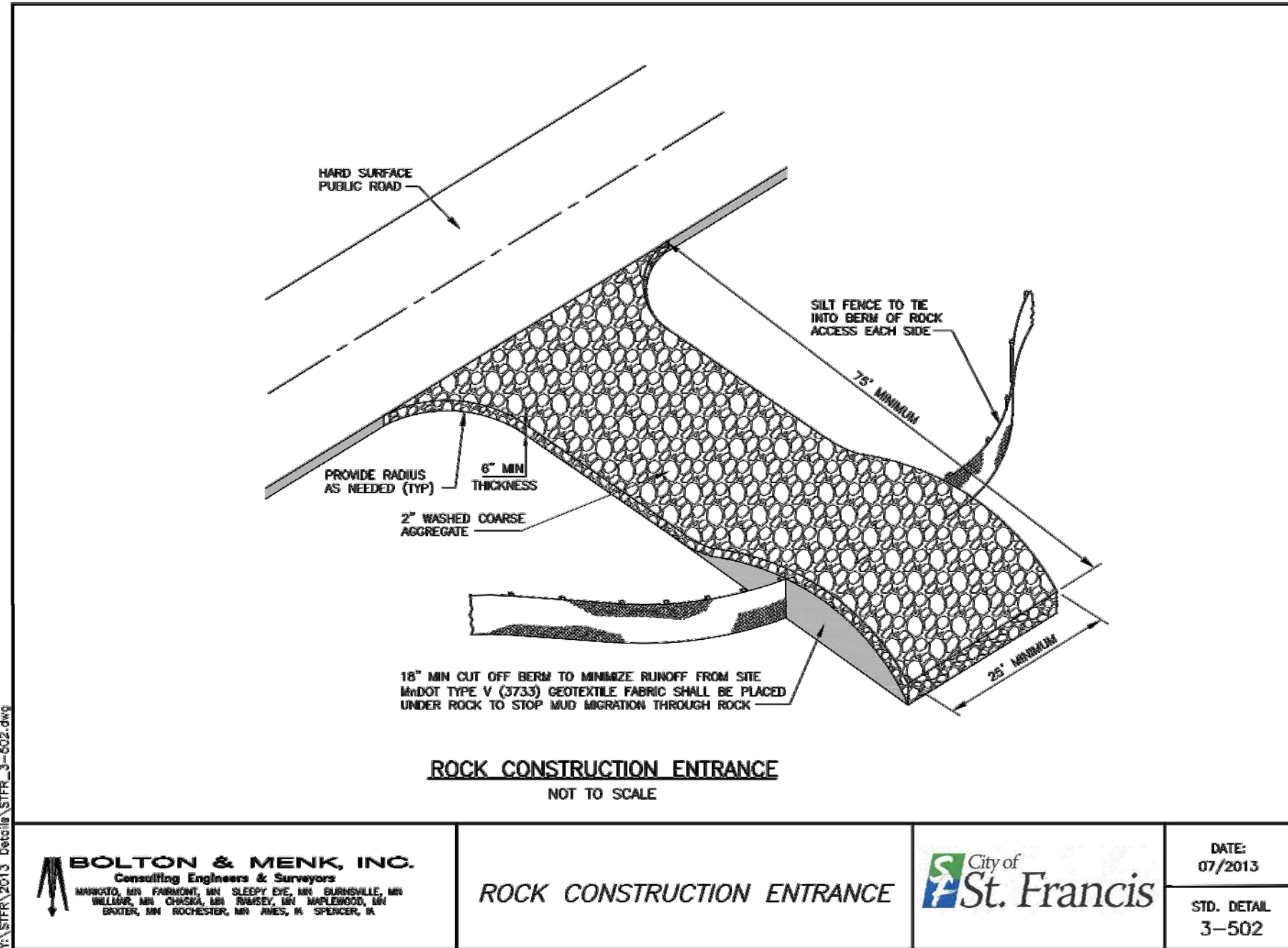
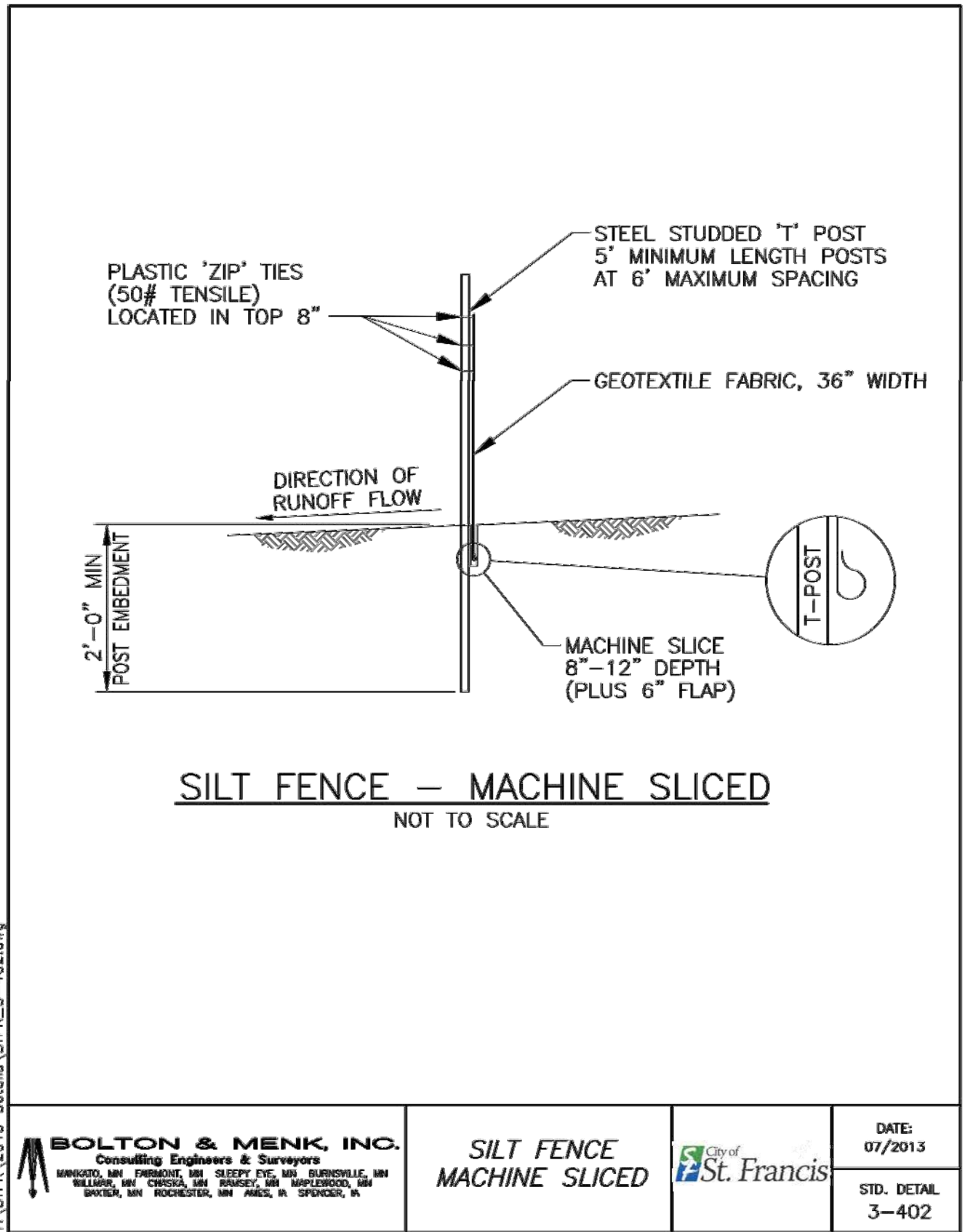
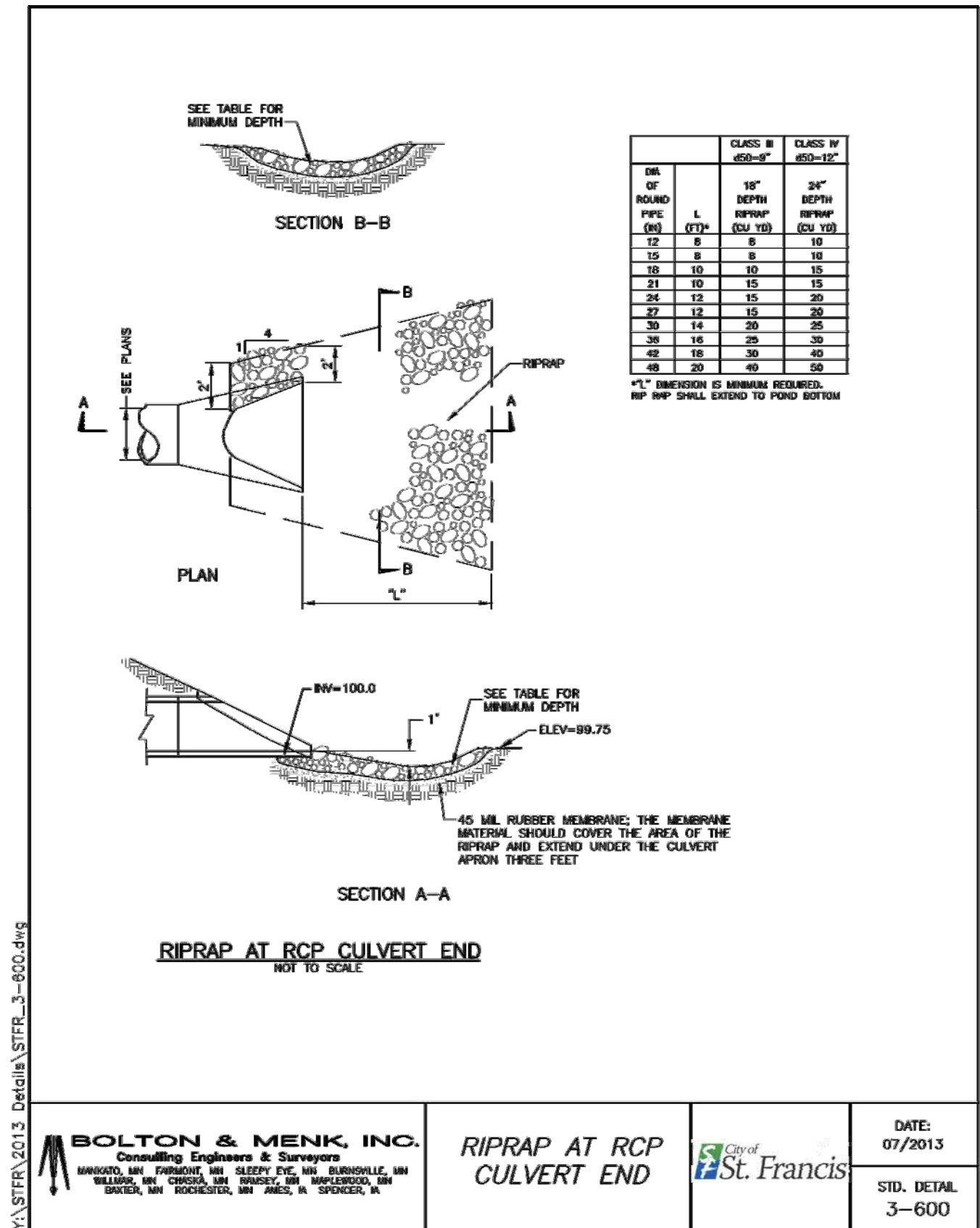
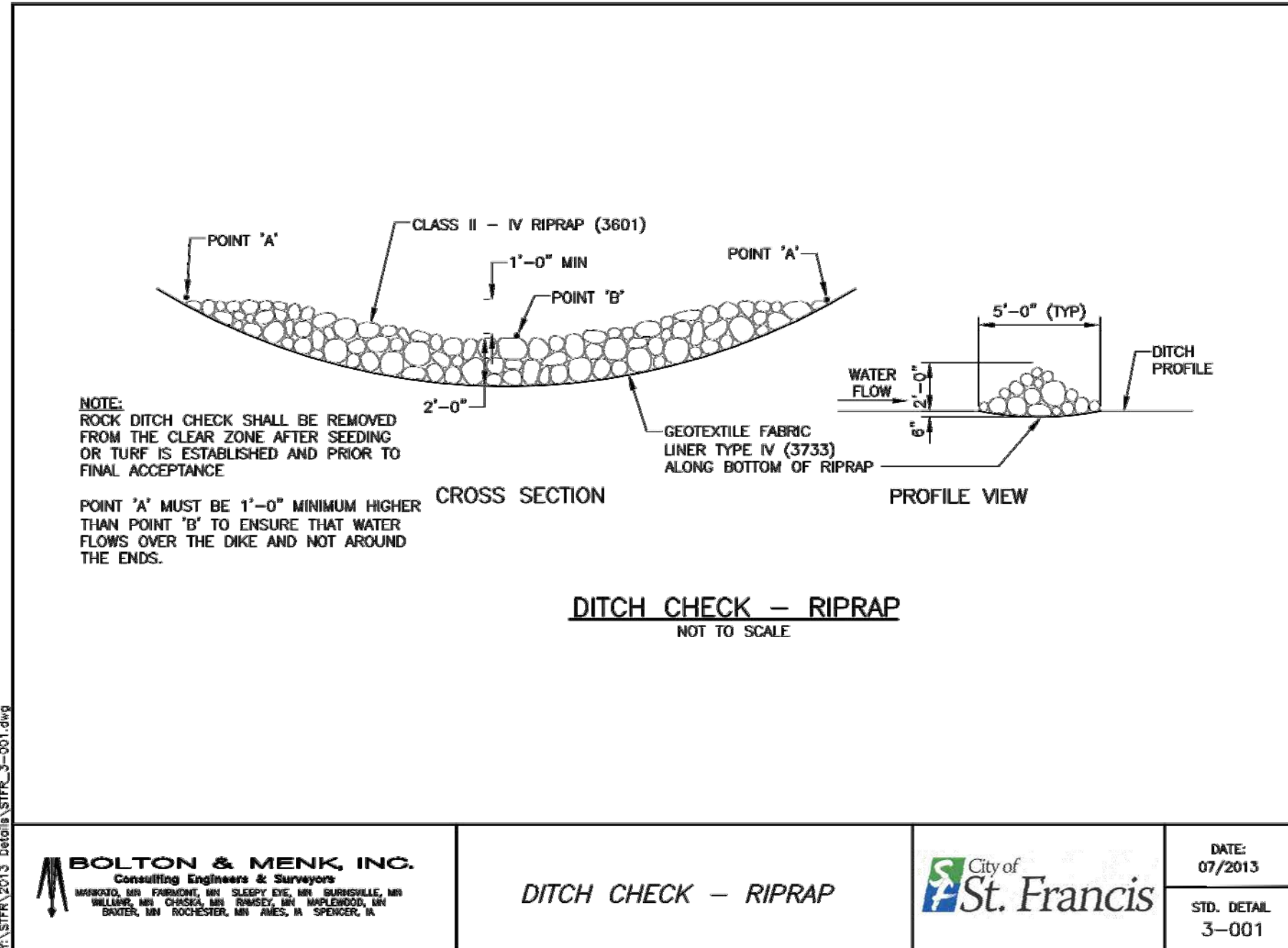
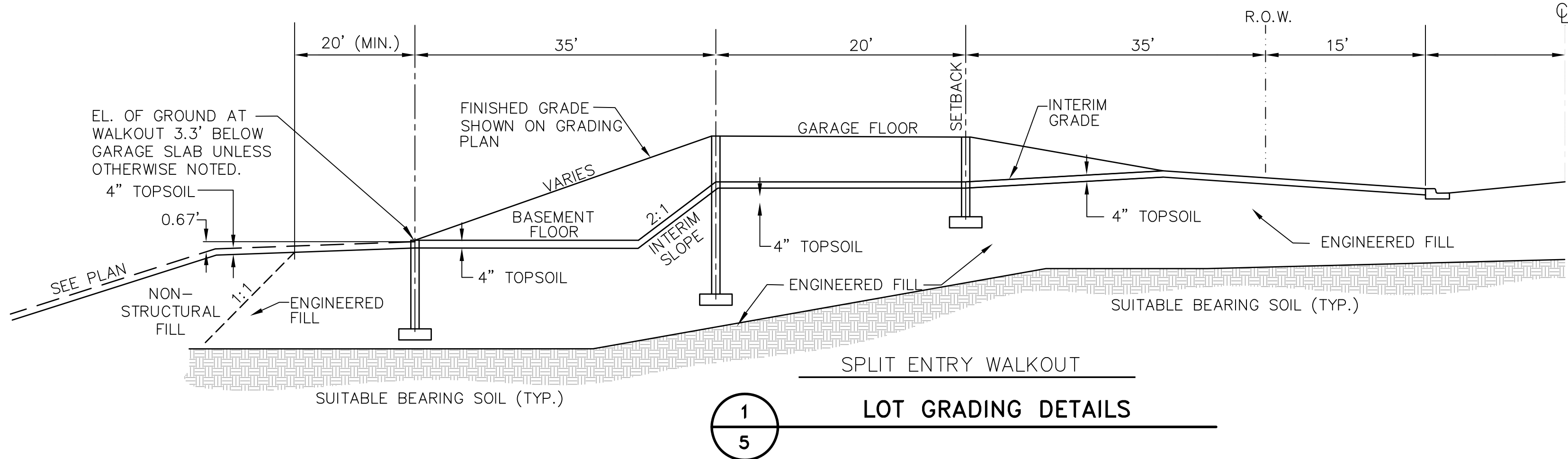


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763-427-5860 FAX 763-427-0520
www.hakanson-anderson.com

RUM RIVER TERRACE

GRADING, DRAINAGE &
EROSION CONTROL PLAN
CITY OF SAINT FRANCIS, MINNESOTA

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OF
5
SHEETS



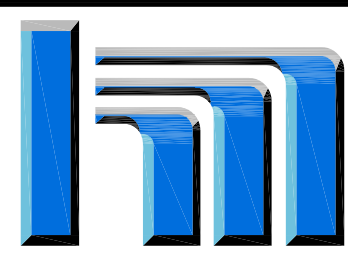
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DATE	REVISION

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ADAM M. THIELE, PE
Date 03/15/16 Lic. No. 51317

DESIGNED BY: AMT
DRAWN BY: AMT
CHECKED BY: TAE



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RUM RIVER TERRACE

DETAILS
CITY OF SAINT FRANCIS, MINNESOTA

SHEET 5 OF 5 SHEETS